

Title	Planning Applications
To:	Planning Control Committee
On:	22 August 2017
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Township Forum - Ward:	Prestwich - Holyrood	App No.	61274
	Location:	223A Bury Old Road, Prestwich, Manchester, M25 1JE		
	Proposal:	Change of use from a dwelling (Class C3a) to tattoo artist studio (Sui Generis) including new shopfront		
	Recommendation:	Approve with Conditions	Site Visit:	N
<hr/>				
02	Township Forum - Ward:	Radcliffe - West	App No.	61423
	Location:	Land at Prestolee Road, Radcliffe, Bury, M26 1HJ		
	Proposal:	Erection of 6 no. private stables, tackroom and feedstore; Formation of hardcore surfaced service area and manure store		
	Recommendation:	Approve with Conditions	Site Visit:	N
<hr/>				
03	Township Forum - Ward:	Prestwich - Holyrood	App No.	61448
	Location:	Naseby Court, Hampden Road, Prestwich, Manchester, M25 1LG		
	Proposal:	Infil extensions to ground, first and second floors; Formation of 1 no. additional apartment		
	Recommendation:	Approve with Conditions	Site Visit:	N
<hr/>				
04	Township Forum - Ward:	Prestwich - St Mary's	App No.	61474
	Location:	Land at Kersal Vale Road, Prestwich, Salford, M7 3NT		
	Proposal:	Outline - residential development to provide up to 118 residential units (Class C3) including means of access		
	Recommendation:	Approve with Conditions	Site Visit:	N
<hr/>				
05	Township Forum - Ward:	Whitefield + Unsworth - Unsworth	App No.	61515
	Location:	Castlebrook High School, Parr Lane, Bury, BL9 8LP		
	Proposal:	Demolition of existing main school building and erection of new (relocated replacement) main school building, relocated hard surface games areas, car parking and landscaping and new substation		
	Recommendation:	Minded to Approve	Site Visit:	Y
<hr/>				
06	Township Forum - Ward:	North Manor	App No.	61564
	Location:	The Island, Railway Street, Summerseat, Ramsbottom, Bury, BL9 5QJ		
	Proposal:	Change of house type for 4 no. semi-detached dwellings (previously approved under application ref: 58230)		
	Recommendation:	Approve with Conditions	Site Visit:	N

07	Township Forum - Ward: Whitefield + Unsworth - Unsworth	App No. 61598
	Location: Land off Roach Bank Road, Bury, BL9 8RQ	
	Proposal: Variation of condition 2 (approved plans) of planning permission 60556 for an industrial unit for a food production facility. Amendments to the approved scheme comprise: revisions to site layout, floor layout and elevation plans; revised landscaping scheme and boundary treatment; increase in height of building from 15.7m to 16.4m; revised parking provision from 272 spaces to 260 spaces	
	Recommendation: Approve with Conditions	Site Visit: Y
08	Township Forum - Ward: Radcliffe - North	App No. 61613
	Location: Land adjacent to 5 Stanley Road, Radcliffe, Manchester, M26 4HG	
	Proposal: Erection of 1 no. dwelling	
	Recommendation: Approve with Conditions	Site Visit: Y
09	Township Forum - Ward: Prestwich - Holyrood	App No. 61635
	Location: Garage colony at Lilac Grove, Prestwich, M25 3DT	
	Proposal: Demolition of existing garage colony and erection of 1 no. detached dwelling with detached garage	
	Recommendation: Approve with Conditions	Site Visit: N
10	Township Forum - Ward: Bury East - Moorside	App No. 61677
	Location: Church Inn, 81 Bell Lane, Bury, BL9 6BB	
	Proposal: Change of use from public house (Class A4) to 4 no. residential apartments (Class C3)	
	Recommendation: Approve with Conditions	Site Visit: N

Ward: Prestwich - Holyrood

Item 01

Applicant: WAM Sandwich Co

Location: 223A Bury Old Road, Prestwich, Manchester, M25 1JE

Proposal: Change of use from a dwelling (Class C3a) to tattoo artist studio (Sui Generis) including new shopfront

Application Ref: 61274/Full

Target Date: 29/06/2017

Recommendation: Approve with Conditions

Description

The application relates to a two storey property (77sqm) on the corner of Bury Old Road and Upper Wilton Street. The property was until recently in residential use. However the site is located within an existing Local Shopping Area close to Heaton Park Metro Station. The attached property, owned by the applicant is a sandwich shop and cafe. Across Upper Wilton Street to the north is the Royal British Legion and Heaton Park is across Bury Old Road to the east. Immediately to the west, at No.1 Upper Wilton Street is a detached dwellinghouse.

The proposal is to change the use of the property from residential to a tattoo shop with ancillary storage above and retain the new shopfront and security shutters that have already been installed.

Proposed opening hours would be 0900hrs to 1700hrs and it is stated that one tattoo artist would be working within the shop at any one time.

Relevant Planning History

43072 - Change of use from restaurant/ sandwich shop (A3) with living accommodation to one self-contained house; retention of sandwich shop with flat above; ground floor extensions to rear and raising part of existing ridge height. - Approved 15/10/2004
47278 - Erection of office (1 Wilton Street)- Approved 22/02/2007
54809 - Change of use from Office to Dwelling (1 Wilton Street) - Approved 14/03/2012

Publicity

The following four neighbours were notified by letter dated 04/05/2017. Nos.221, 223, 225 Bury Old Road and 1 Upper Wilton Street.

Objections have been received from the occupier of No.1 Upper Wilton Street. Concerns are summarised below:

- Customers of the applicant's sandwich business create traffic problems by parking on Upper Wilton Street.
- Storage of bins has become a problem with bins stored on, and at the side of, her property.
- The narrow space between the objector's property and the rear of the applicant's property, and belonging to the objector, was gated off by the applicant.
- Litter from customers of the sandwich shop.
- The applicant's drains have been linked into the objector's drains without proper permission.

The objector has been notified of the Planning Control Committee.

Consultations

Traffic - Comments awaited.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN1/8	Shop Fronts
S1/4	Local Shopping Centres
NPPF	National Planning Policy Framework
S2/1	All New Retail Proposals: Assessment Criteria
EN7/2	Noise Pollution

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - UDP Policy S1/4 Local Shopping Centres. The Council will seek to maintain and enhance local shopping centres and will encourage the provision of a range of shopping facilities required to serve purely local needs.

UDP Policy S2 Control of New retail and Non-Retail Development. The Council will seek to protect and enhance the vitality and viability of the Borough's shopping centres by encouraging and controlling the type and location of retail and non-retail development to benefit the retailing activities of the centres.

UDP Policy EC4/1 Small Businesses. Proposals for small businesses will be acceptable when the scale of development is appropriate to, and the use is environmentally compatible with, the surrounding area in which it is to be located, and where they do not conflict with other policies and proposals of the Plan.

UDP Policy EN1/8 - Shop Fronts. The Council will seek to ensure that proposals for new and altered shop fronts properly respect the architectural elements of the building and the character of the surrounding street scene. Proposals which are unsympathetic to the building or its surroundings or which break up a harmonious group of buildings will not be permitted.

Use - The establishment of a new business within an existing shopping centre, is welcomed and considered to be acceptable in principle and complies with UDP Policy S1/4 Local Shopping Centres.

Visual Amenity - The new black framed new shopfront is designed to be in keeping with the adjacent business, belonging to the applicant and considered to be acceptable within the streetscene. The black roller shutters over the main shopfront are not ideal and should have a more visually acceptable open 'brick bond style' design. A condition can be attached to any approval requiring the roller shutter to be changed within a certain time period.

In general, subject to an appropriately designed roller shutter, the proposal is acceptable and complies with UDP Policies EN1/2 Townscape and Built Design and EN1/8 Shopfronts.

Access and Parking - The property does not have any off-road parking and there are parking restrictions in the form of double yellow lines along the Bury Old Road frontage. There is on-street parking along Upper Wilton Street and there are small public car parks off Wilton Street and at the metro station.

The proposal should be assessed in the light of its relatively sustainable location within the existing shopping centre and the nature of the proposed use itself. In terms of traffic

generation, the tattoo parlour would not likely give rise to excessive amounts of traffic and the previous residential use would also generate a certain amount of traffic, possibly at different times of the day.

Given the location and nature of the business, the absence of dedicated parking is considered to be acceptable and complies with UDP Policies EC4/1 Small Businesses and HT2/4 Car Parking and New Development.

Residential amenity - The nearest residential properties are above the applicant's sandwich shop next door at No.223 Bury Old Road and to the rear at No.1 Upper Wilton Street where the sole objector lives.

Given the limited scale of the new use, the daytime opening hours to 5pm, there is unlikely to be serious noise and disturbance caused by the tattoo shop.

Refuse storage - There is clearly a problem with the current refuse storage arrangements between the applicant and the resident immediately to the rear, at No.1 Upper Wilton Street. In the past, there seems to have been a verbal agreement with the applicant and the previous resident at No.1 Upper Wilton Street, to take bins down the narrow gap to the rear yard of 223 and 223A Bury Old Road. This arrangement for some reason, seems to have broken down and bins are now stored on the footway of Upper Wilton Street, to the side of 223A Bury Old Road.

In terms of the change of use of the property from a house to a tattoo Parlour, the difference between refuse storage arrangements for the previous residential use and that of the proposed tattoo parlour is not significant.

The applicant has indicated that the bins can be taken from the footway, through the single storey outrigger at the rear property and stored in the rear yard. Whilst this arrangement is not as convenient as taking the bins over the neighbours land and directly into the back yard, it is workable.

The concerns from the neighbour about excessive litter relate more to the existing shops and general environment. It is not considered that the tattoo parlour would contribute any significant amounts of general litter.

Objections - The material planning objections that the neighbour has raised have been addressed in the above report. The drains issue raised is not affected by the scheme therefore not relevant. Planning permission would be required to change from a tattoo studio to a more intensive use where the bin storage issue would have greater relevance.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. This decision relates to revised drawings numbered WAM01/A and WAM02/A and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

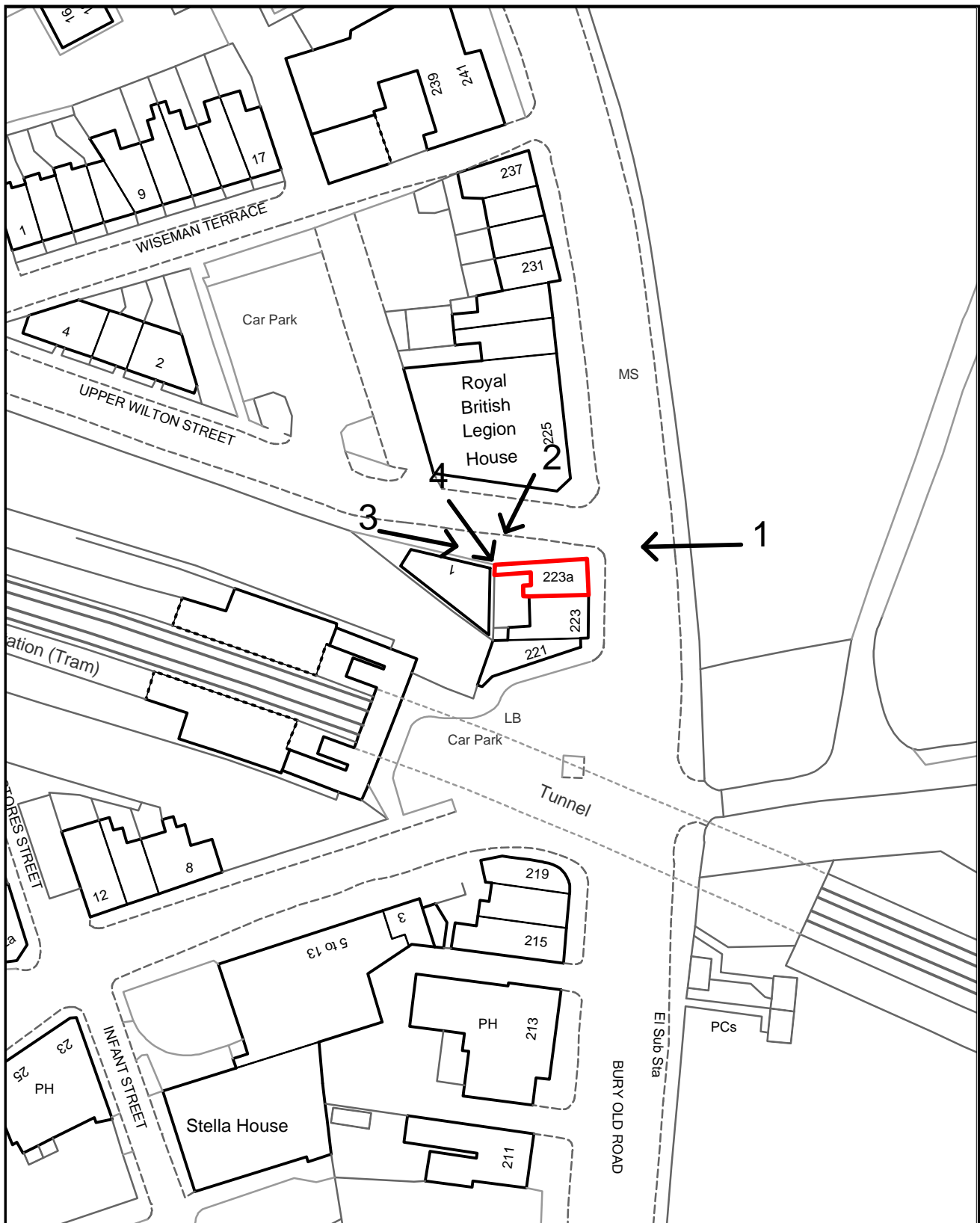
2. The use hereby permitted shall not be open to customers outside the following times:

0830hrs to 1800hrs Monday to Saturday

Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to UDP Policies S1/4 Local Shopping Centres and S2/1 All New Retail Proposals.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61274

**ADDRESS: 223a Bury Old Road
Prestwich**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61274

Photo 1



Photo 2



61274

Photo 3



Photo 4





Notes

Dimensions must not be scaled off this drawing.

All dimensions must be checked on site by the contractor prior to commencement of work.

Any discrepancies must be brought to the attention of the Project Designer.

This drawing must be read in conjunction with the specification and relevant drawings documentation.

Rev.	Date	Initial	Description

PROJECT INFORMATION

Project Drawing References

SS Measured Surveys
SK Sketch
B Building
E Electrical
M Mechanical
F Fire
P Medical Cases
EX External Doors

As Built Drawing References

S Site Plan
B Building
E Electrical
M Mechanical
F Fire
P Medical Cases
EX External Doors
SP Space Planning

MA

Architecture

FEASIBILITY

TENDER

CONSTRUCTION

AS BUILT

Job Title/Scheme

223 Bury Old Road
Prestwich
Manchester

Drawing Title

LOBBY LAYOUT
AS BUILT

Job Title/Scheme No.

Drawing No.

Revision

AM

Paper

Scale@A3

Date

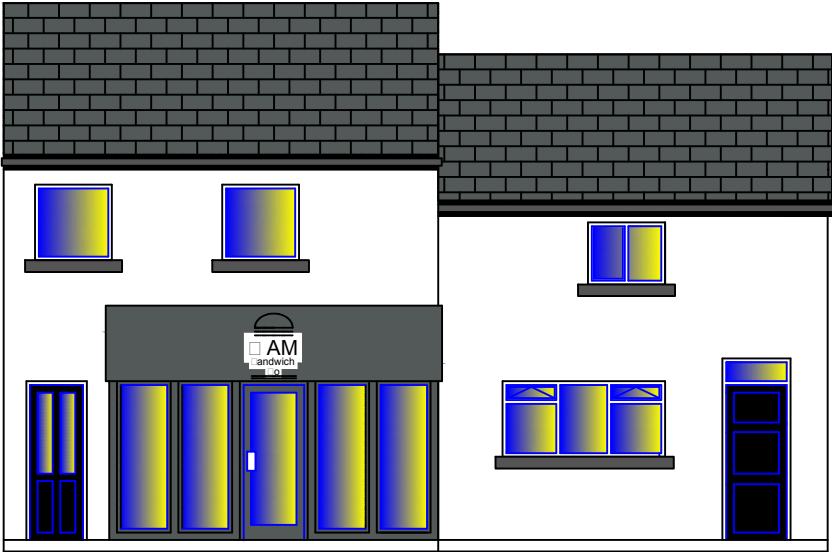
Checked

Autocad Reference

Drawn

A	B								Notes																							
<div>Dimensions must not be scaled off this drawing.</div> <div>All dimensions must be checked on site by the contractor prior to commencement of work.</div> <div>Any discrepancies must be brought to the attention of the Project Designer.</div> <div>This drawing must be read in conjunction with the specification and relevant drawings documentation.</div>																																
<table><tr><th>Rev.</th><th>Date</th><th>Initial</th><th>Description</th></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>									Rev.	Date	Initial	Description																				
Rev.	Date	Initial	Description																													
<div><div>Project Drawing References</div><div>As Built Drawing References</div><div>SS Measured Survey</div><div>SK Sketch</div><div>B Building</div><div>E Electrical</div><div>M Mechanical</div><div>F Fire</div><div>P Medical Cases</div><div>EX External Doors</div><div>As Built Drawing References</div><div>Site Plan</div><div>B Building</div><div>E Electrical</div><div>M Mechanical</div><div>F Fire</div><div>P Medical Cases</div><div>EX External Doors</div><div>SP Space Planning</div></div>																																
<div>Architect</div>																																
<div>FEASIBILITY</div> <div>CONSTRUCTION</div> <div>TENDER</div> <div>AS BUILT</div>																																
<div>Job Title/Scheme</div> <div>223 Bury Old Road</div> <div>Prestwich</div> <div>Manchester</div>																																
<div>Drawing Title</div> <div>Level VA</div> <div>Level I</div> <div>Level R</div>																																
<table><tr><td>Job Title/Scheme No.</td><td>Drawing No.</td></tr><tr><td></td><td>AM</td></tr><tr><td></td><td>Revision</td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></table>									Job Title/Scheme No.	Drawing No.		AM		Revision																		
Job Title/Scheme No.	Drawing No.																															
	AM																															
	Revision																															
<table><tr><td>Paper</td><td>Scale@A3</td><td>Date</td><td>Checked</td></tr><tr><td>A</td><td></td><td>ec</td><td></td></tr><tr><td colspan="3">Autocad Reference</td><td>Drawn</td></tr><tr><td colspan="3"></td><td>C</td></tr></table>									Paper	Scale@A3	Date	Checked	A		ec		Autocad Reference			Drawn				C								
Paper	Scale@A3	Date	Checked																													
A		ec																														
Autocad Reference			Drawn																													
			C																													

Level VA



Level I



Level R

Ward: Radcliffe - West

Item 02

Applicant: Mrs Joan Simpson

Location: Land at Prestolee Road, Radcliffe, Bury, M26 1HJ

Proposal: Erection of 6 no. private stables, tackroom and feedstore; Formation of hardcore surfaced service area and manure store

Application Ref: 61423/Full

Target Date: 27/06/2017

Recommendation: Approve with Conditions

Description

The application site is located to the north of Prestolee Road, in the elbow of the River Irwell. The site is in the open countryside and is designated Green Belt, River Valley and Wildlife Link/Corridor. It comprises a grassed field that slopes gently northwards down to the river. A Public Right of Way runs along the access track from Prestolee Road to a point close to the entrance to the field in which the stables would be sited before slitting off to run eastwards through a small copse of woods and westwards to the River Irwell.

The proposal involves siting an L-shaped stable block with six horse boxes (3.6m x 3.6m), a feed store and a tack room. The timber framed building would be clad in timber boarding and have a shallow pitched roof would black onduline sheeting with a height of 2.2m to the eaves and 2.8m to the ridge. The access to the stables would be via an existing field access from Prestolee Road and a turning area would be provided next to the stables. The access track is comprised of crushed stone with grass growing though as it runs away from the Prestolee Road end. Manure would be stored in a trailer next to the stables.

Relevant Planning History

57441 - Prior notification for 15 metre tall steel monopole with 3 no. antennas to the top, 1 no equipment cabinet at the base surrounded by 1.8 metre high palisade fencing. - Prior Approval Required and Granted 21/05/2014

Publicity

Shoreside Bungalow, Prestolee Road and the Shore Top Angling Club were notified of the application by initial letter dated 02/05/17 and amended plan letter dated 18/07/17. Site notice posted.

The Shoreside Angling Club have objected to the proposal on the following grounds:

- The building is another incursion into the Green Belt.
- Increased conflict between vehicles and walkers using the public right of way.
- The stables encroach on reservoir workings and run off from the site would feed into the River Irwell and nearby reservoirs, increasing flood risk.
- The application fails to recognise the nearby reservoirs are SBIs and protected. Water quality therefore should be protected.
- Drainage issue are not resolved.
- Extent of land ownership is not clear.

The objector has been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No comments to date.

Drainage Section - No objection.

Environmental Health - No objection.

Environment Agency - No objection.

Greater Manchester Ecology Unit - No objection.

Unitary Development Plan and Policies

OL1/2	New Buildings in the Green Belt
OL5/2	Development in River Valleys
OL4/7	Development Involving Horses
EN1/1	Visual Amenity
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN6/1	Sites of Nature Conservation Interest SSSI's NNR's
EN6/2	Sites of Nature Conservation Interest LNR's
SPD10	Planning for Equestrian Development
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
NPPF	National Planning Policy Framework
EN5/1	New Development and Flood Risk
EN7/3	Water Pollution
EN7/5	Waste Water Management

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policy - The application site is within the open countryside and is designated Green Belt, River Valley and Wildlife Link and corridor as such the following UDP policies are relevant.

Policy OL1/2 - New Buildings in the Green Belt seeks to preserve its openness and protect it from inappropriate development.

OL4/7 - Development Involving Horses states that the stabling of horses is considered to be acceptable within the open countryside/ Green Belt where it would not have an adverse impact on the appearance of rural areas.

EN6/4 - Wildlife Links and Corridor seek to consolidate and, where appropriate, strengthen wildlife links and corridors, and will not permit development which would adversely affect identified areas. In particular, the Council will seek to ensure that new development within or adjacent to identified links or corridors contributes to their effectiveness through the design, landscaping and siting of development proposals and mitigation works, where appropriate.

EN9/1 - Special Landscape Areas states that high standards of design, siting and landscaping will be expected where development is permitted.

Supplementary guidance Note 8 - New Buildings and Associated Development in the Green Belt seeks to further clarify UDP Policy OL1/2 to ensure the quality and design of new buildings are sympathetic to the surrounding area. Regard is given to the siting and visual design, scale and form, materials and colour and the surrounding area.

Supplementary guidance Note 10 - Planning for Equestrian Development seeks to provide advice and give greater clarity in respect of the provision of new stables. The guidance makes reference to small stables as being an acceptable form of development within the Green Belt. Generally applications for small scale stable blocks may be accepted subject to detail and the surrounding area.

Visual amenity and Openness of the Green Belt - In terms of the NPPF paragraph 89, the stables, associated with outdoor recreation, are considered appropriate in the Green Belt. They are modest in scale and would not be situated in an exposed location within the field but sited close to the existing small copse of trees sited to the south/east. The stables in question are currently sited on skids next to the pylon in the field, would be for the sole use of the applicant and as such would not generate excessive amounts of traffic or commercial activity. The trees and surrounding hedging would help screen the stables from public views and within the surrounding mature landscape, they would not appear prominent or incongruous. The timber and slate finish to the stables would be in keeping with the rural location and would not have a seriously detrimental impact on the openness of the Green Belt or character of the surrounding countryside

The turning area for vehicles would be located next to the pylon, as one enters the field. A condition of any approval would require this area to be surfaced in appropriate permeable hardcore material.

The proposal is considered to be appropriate in terms of the use, siting and design and as such, the proposed stables and turning area are considered not to detrimentally effect the visual amenity of the area. The proposal complies with the NPPF and UDP Policies in relation to visual amenity and the Green Belt.

Residential amenity - The site is relatively isolated with no residential properties nearby. As such there are no residential, amenity issues arising.

Access - The use of the existing access for the small scale domestic stables is considered to be acceptable and would not interfere with the use of the track as a Public Right of Way. There is sufficient space for turning within the site. The proposal complies with UDP policy in this respect.

Servicing - The applicant states that manure would be collected in a separate trailer and this would be collected by a local farmer to be spread on the land in the normal manner. The provision of a suitable manure storage facility would be a condition of any approval.

Ecology /Wildlife Corridor and Links - The modest scale and domestic nature of the proposed development would not have a significant or detrimental impact on the nearby SBI/ Wildlife Corridor or wider environment in terms of ecology. It is noted that any issues relating to pollution of SBIs, rivers or wider environment are also regulated by the Environment Agency. Neither the Greater Manchester Ecology Unit nor the Environment Agency have objected to the proposal.

Drainage - The stables are modest in scale and the hardstanding has been reduced in area to reduce run-off and mitigate the impact on the Green Belt. It is not considered that the development would lead to excessive surface water run-off in any case. Notwithstanding this, the development would be served by a drain which is connected into the existing drainage system, discharging into the river.

There would be no foul drainage as the horses would be bedded on shavings which absorb all foul waste. The shavings/foul waste would be stored in the separate 'muck cart' and collected by a farmer to spread on agricultural land. This arrangement is a normal arrangement for such uses and considered to be satisfactory and would not increase significantly any pollution risk. In terms of drainage, pollution control and flood risk, the proposal complies with policy. There is no objection from the drainage officer or the Environment Agency.

Objections - The planning related concerns raised by the Shore Top Angling Club have been addressed in the above report and through appropriate conditions.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

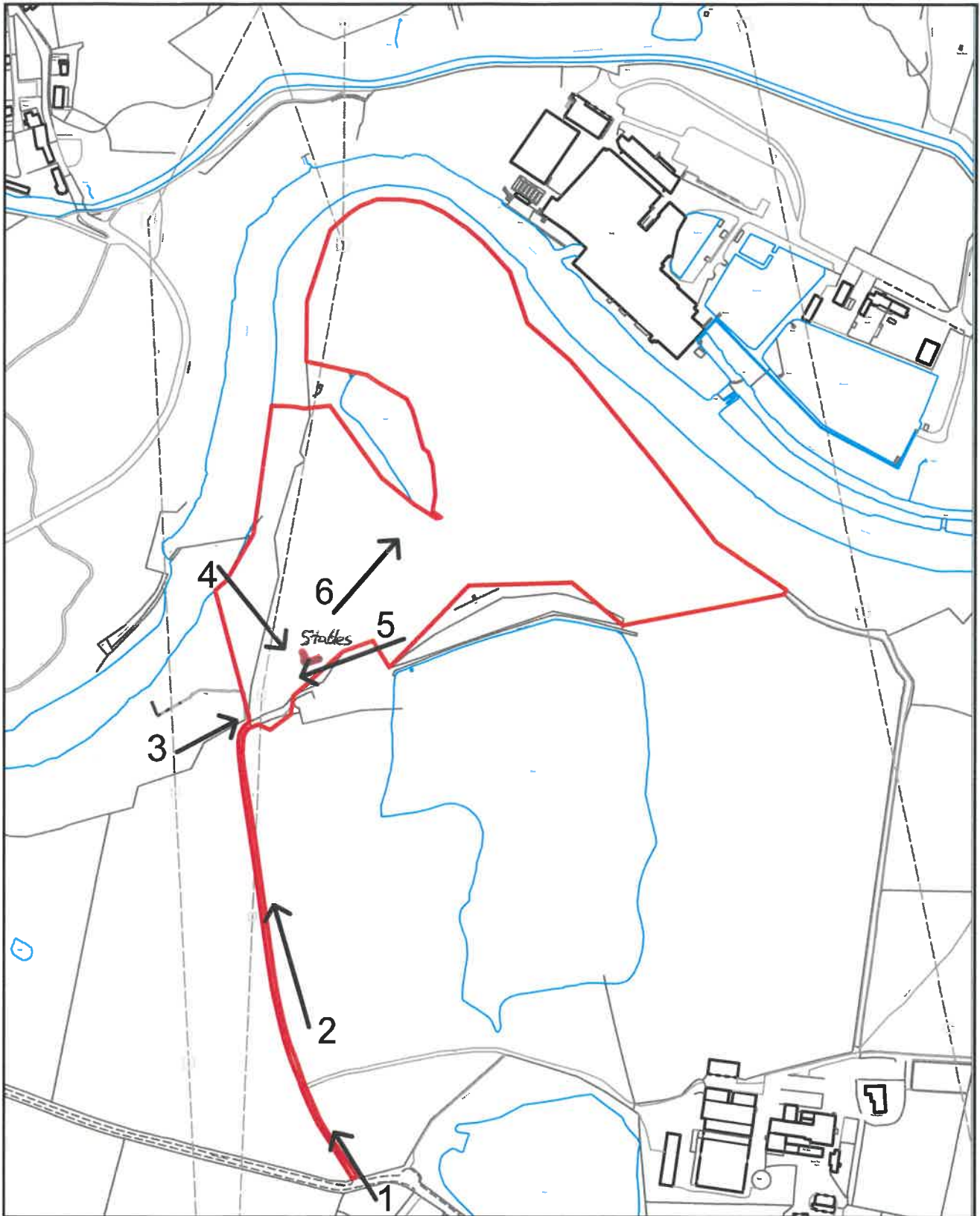
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to Location plan and revised drawing numbered ML/JS/5620 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The stables hereby permitted shall be used for the domestic purposes only. They shall not be used in part or whole for any commercial livery, equestrian or other use.
Reason: In the interests of amenity having regard to the location of the site pursuant to UDP Policies OL1/2 New Buildings in the Green Belt, OL4/7 Development Involving Horses and SPD Guidance Note 10 Equestrian Development.
4. The stables hereby approved shall be removed from site and the land restored to its original condition to the written satisfaction of the Local planning Authority within 6 months of them ceasing effective use.
Reason: In the interests of the visual amenity pursuant to Policies OL1/2 New Buildings in the Green Belt, OL4/7 Development Involving Horses and SPD Guidance Note 10 Equestrian Development of the Bury Unitary Development Plan.
5. Prior to the use of the stables commencing, details of the facility for the storage of manure on the site shall be submitted to, and approved in writing by the Local Planning Authority. The approved facility shall be operational at all times whilst the stables are in use.
Reason: To prevent the pollution of the environment pursuant to UDP Policies OL1/2 New Buildings in the Green Belt, OL4/7 Development Involving Horses and SPD Guidance Note 10 Equestrian Development of the Bury Unitary Development Plan.
6. Before the commencement of development, details of the construction of the proposed turning area within the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented in full and maintained thereafter.
Reason. Details have not been submitted and in the interests of highway safety pursuant to UDP Policy OL4/7 Development Involving Horses and SPD Guidance Note 10 Equestrian Development of the Bury Unitary Development Plan.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61423

**ADDRESS: Land at Prestolee Road
Radcliffe**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61423

Photo 1



Photo 2



Photo 3



Photo 4

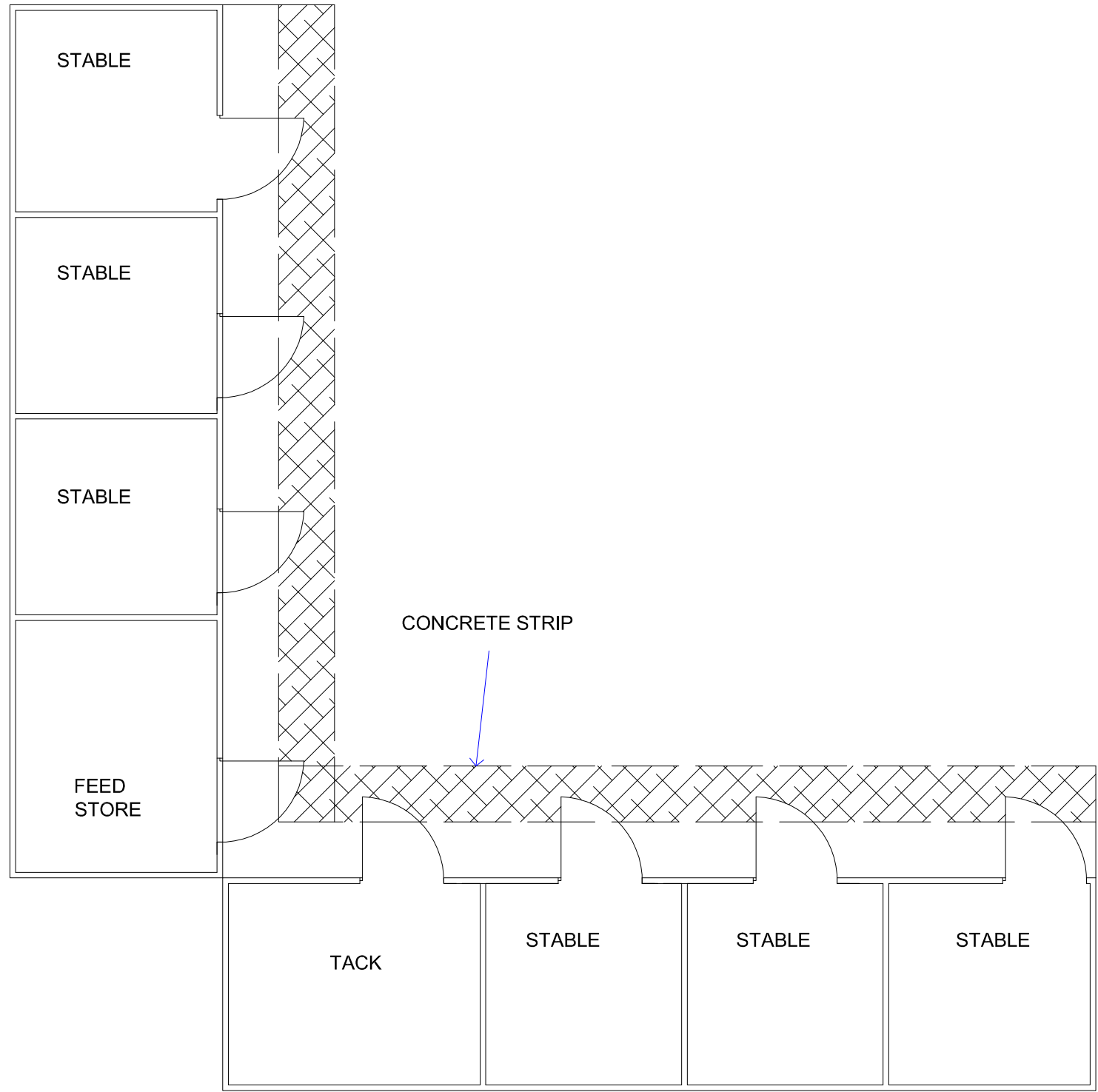
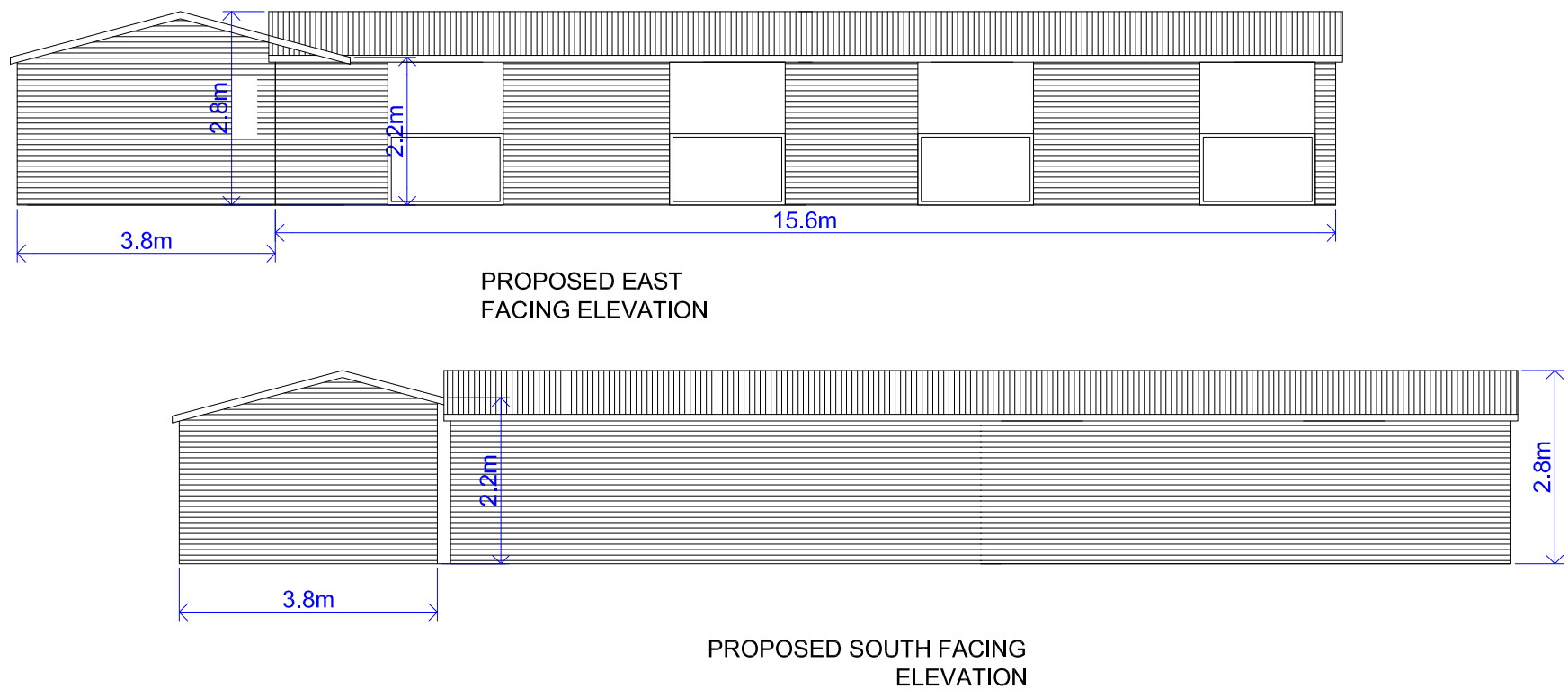
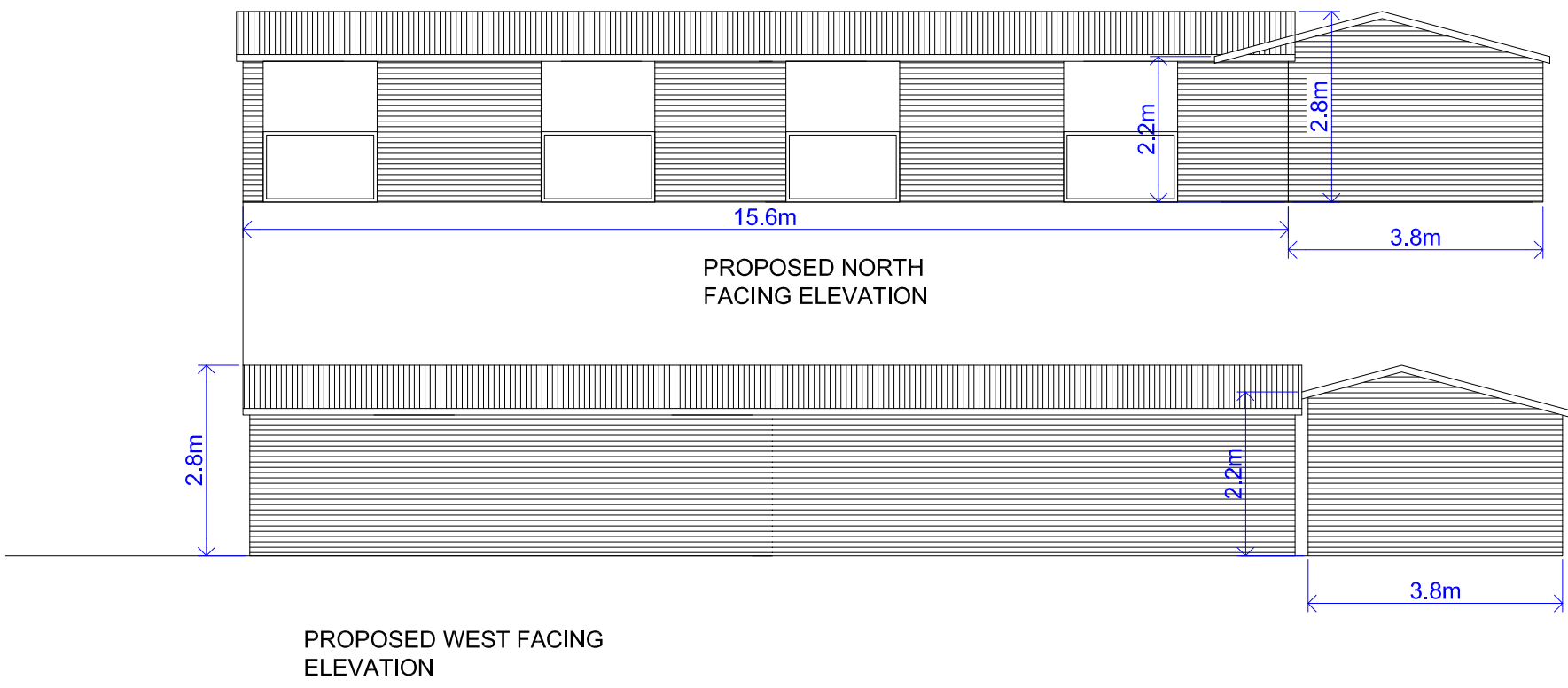


Photo 5



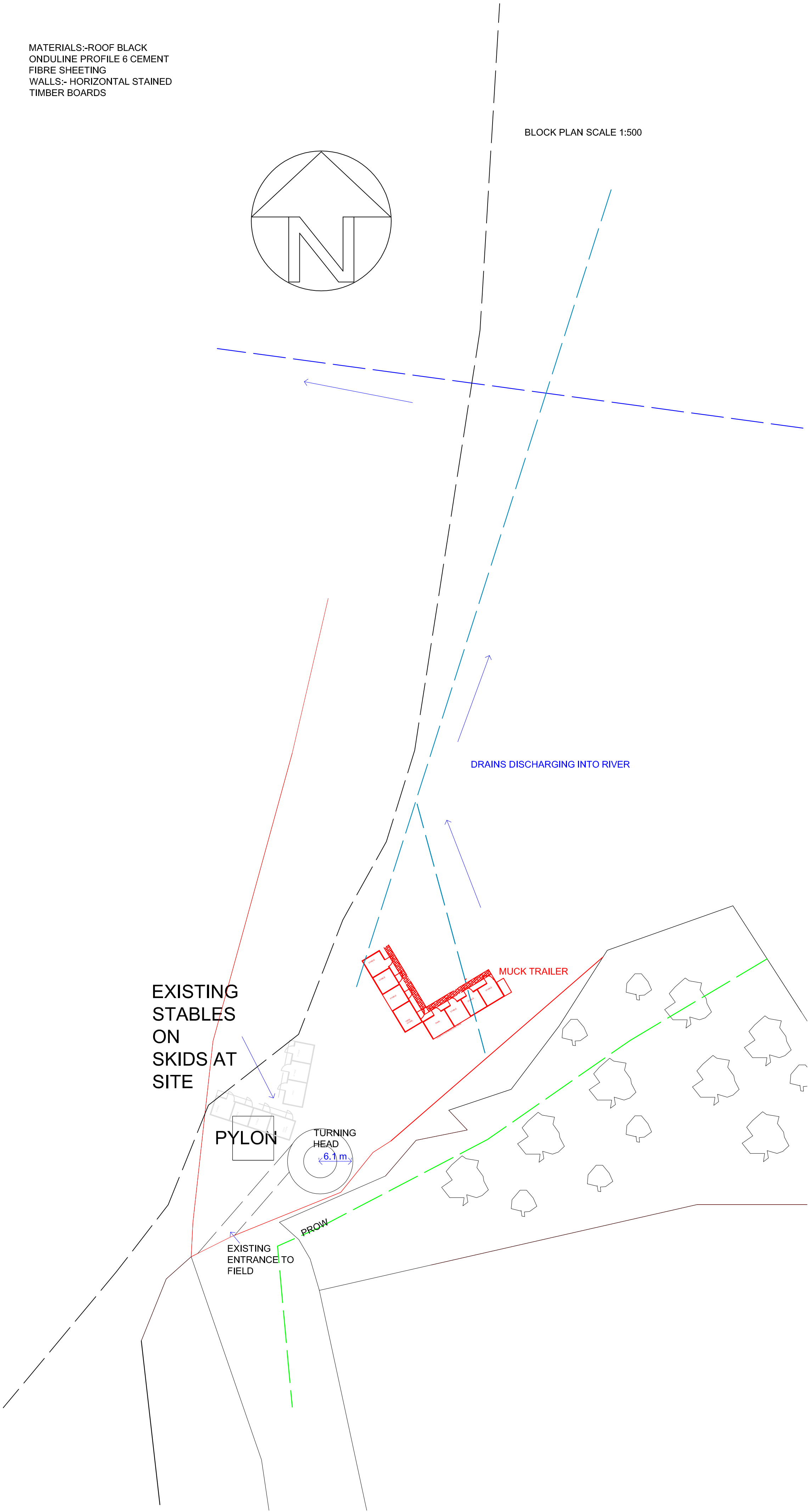
Photo 6

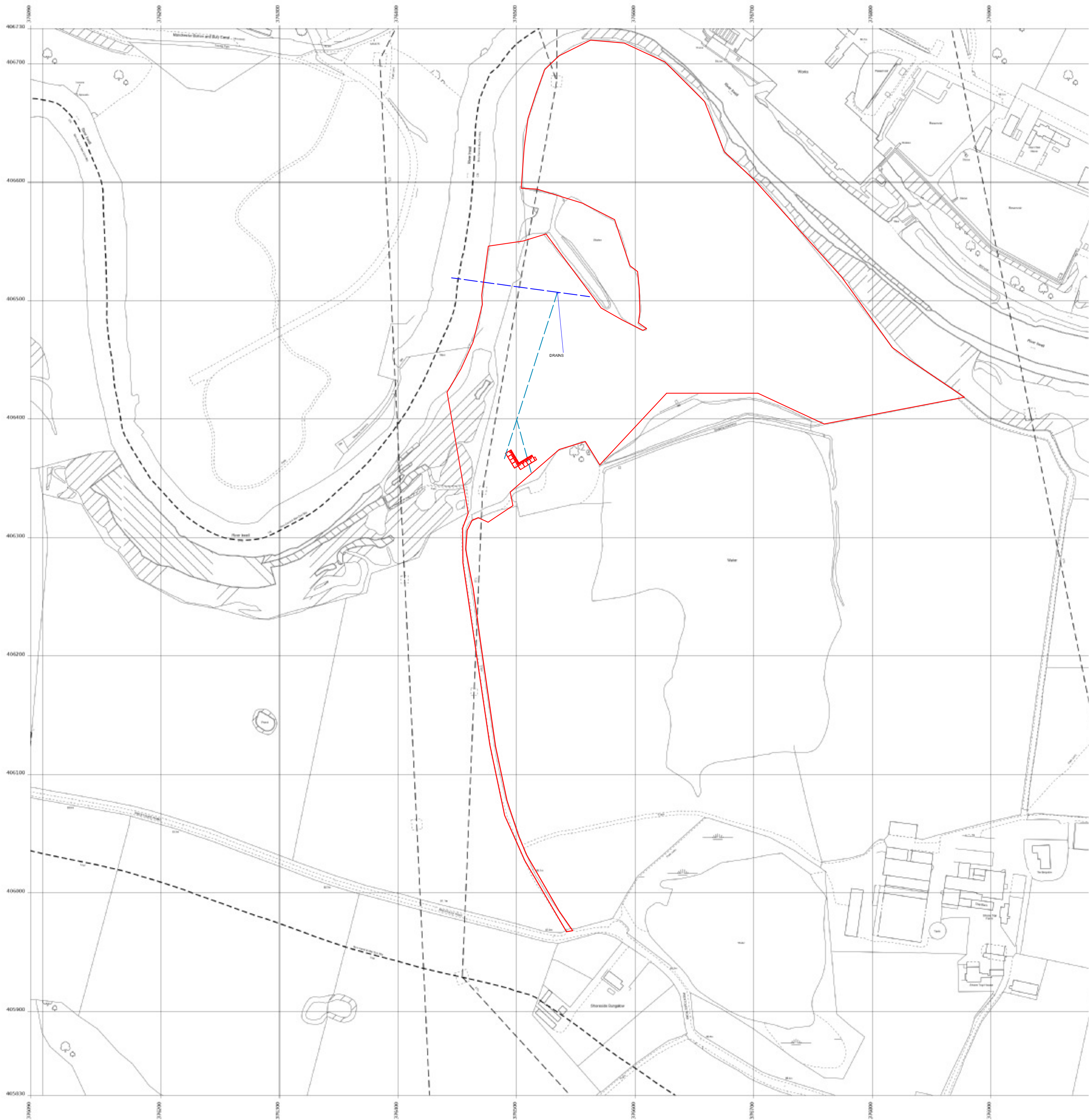




DRAWN BY: 5 Bobbin Mill Cottages, Stubbins Lane, Cloughton-on-Brock, Preston, PR3 0PL Telephone 01995 640135 Mobile 07813 296 287 e-mail: mel@mlplanning.co.uk	CLIENT: MRS SIMPSON PROJECT:- PERMANENT PRIVATE STABLES LOCATION: LAND OFF PRESTOLEE ROAD, RADCLIFFE BOLTON M26 1HJ	DATE: 20 APRIL 17 DWG NO. MUJ/5620 SCALE 1:100 & 1:500 A1
--	--	---

MATERIALS:-ROOF BLACK
ONDULINE PROFILE 6 CEMENT
FIBRE SHEETING
WALLS:- HORIZONTAL STAINED
TIMBER BOARDS





Produced 21 Apr 2017 from the Ordnance Survey MasterMap(Topography)Database and incorporating surveyed revision available at this date.

The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

Version 1.0 Unversioned directory TIF

Metres
0 20 40 60 80 100
1:2500



Supplied by: Stanfords 21 Apr 2017
© Crown copyright and database rights 2017 OS 100035409
Reference: 01116194
Centre coordinates: 376540 406280

Ward: Prestwich - Holyrood

Item 03

Applicant: Alpha (RSL) Ltd

Location: Naseby Court, Hampden Road, Prestwich, Manchester, M25 1LG

Proposal: Infill extensions to ground, first and second floors; Formation of 1 no. additional apartment

Application Ref: 61448/Full

Target Date: 17/07/2017

Recommendation: Approve with Conditions

Description

The site relates to elderly residential accommodation which is located within an area characterised predominantly by brick built terraced dwellinghouses.

The building comprises brown/red brick with vertical cladding tiles at the upper level. It is 3 storey in height and of a fairly unusual design, which could be described as having 3 'legs' projecting from the main core of the building. Accommodation is for 31 units, in a mix of bed sits and flats with a 1 No. 3 bedroomed warden unit and garage located at ground floor. The application seeks infill extensions to the ground, first and second floors, and the formation of 1 No. additional unit. The extension would enable the 18 No. bedsit units to be converted to form 18 No. 1 bed apartments. It is also proposed to subdivide the wardens accommodation, which is no longer required, into 2 No. 1 bed apartments.

The extensions would infill and square off the corners of the projections to provide 7-8 sqm of additional floorspace per unit to improve accommodation provision. Materials would comprise red/brown brick to match the existing.

Relevant Planning History

01932/E - Extensions to stair core areas to allow the conversion of existing bedsit accommodation into 1 bedroom apartments - Enquiry completed 22/12/2016

Publicity

84 letters sent on 22/5/2017 to properties at Naseby Court; Naseby place; Hampden Road; Cromwell Road; Bailey Street.

One letter of objection received from No 10 Naseby Place with the following comment:

- Strongly object as this will be a bigger eyesore than it is already overlooking my house, reducing its value, for the sake of greed and profit.

Revised plans received to show some windows re-positioned on the north west elevation, north elevation, west elevation and south elevation.

Amended letter sent on 5/7/2017 to properties at Cromwell Road, Hampden Road and Naseby Place, who would be directly affected by the revised proposals.

Further letter of objection received from No 10 Naseby Place with the following comment:

- Objection still stands due to the fact it will devalue my house and blight my outlook for no other reason than greed and profit.

The objector has been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection.

Drainage Section - No response received.

Environmental Health Contaminated Land - No comments to make

Coal Authority - A Coal Mining Risk Assessment report would not be required. An informative to the applicant is recommended.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
CF1	Proposals for New and Improved Community Facilities
CF3/1	Residential Care Homes and Nursing Homes
HT5	Accessibility For Those With Special Needs
SPD6	Supplementary Planning Document 6: Alterations & Extensions

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless th

Principle - UDP Policy CF1/1 - Location of New Community Facilities has regards to factors including impact on residential amenity and the local environment, traffic generation, scale and size and access.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The proposals to extend the building would provide improved accommodation, facilities and layout of the existing units for the elderly residents of the home. It would also provide one additional unit which would provide assisted living for an elderly member of the community. The development would be relatively small in scale and as such it is considered that impact on the amenity of the surrounding area would not be significant in comparison to the benefits of the scheme, and as such the proposals are considered to comply with UDP Policy CF1/1, H2/1, H2/2 and the principles of the NPPF.

Residential amenity - SPD 6 contains supplementary guidance on separation distances between new and existing buildings and is used as a yardstick when assessing relationships to new residential development. A separation distance of 20m between habitable room windows is generally considered to be an acceptable minimum distance. An additional 3m is sought where there would be additional storeys to heights of buildings or levels changes equivalent to a storey(s).

A separation of no less than 23m would be expected between 3 storey and 2 storey residential properties with facing habitable room windows.

In terms of aspect standards, the existing building already has habitable room windows

which are of sub-standard separation to some of the terraced properties nearby. The plans which were originally submitted with the application showed that some of the new window positions whilst not worsening the situation for local residents, would have resulted in lesser separation which would not generally be acceptable in new development. The issue of overlooking and privacy was also raised by an objection from one of the residents on Naseby Place.

The applicant has therefore sought to address these concerns through the submission of revised plans which have re-positioned and altered the size of some of the windows in the extensions. Five windows on the northwest, north, south and west elevations have been changed to smaller or what is termed 'secondary' windows, which by their size, position, and oblique relationship to dwellings opposite, would restrict views and outlook but still provide sufficient light and amenity for the occupiers. The minimum separation distance from these secondary windows would be no less than 20.5m to the nearest houses and no worse than the existing situation.

The remaining windows proposed in the extensions would comply with aspect standards and there would be more than 23m of separation.

To clarify matters for the objector at No 10 Naseby Place, two windows originally proposed would have faced this property. In the revised scheme, one window on the west elevation has now been removed and re-positioned to the north west elevation. The window on the west elevation would be secondary but almost virtually impossible to view No 10 from this window given the acute oblique relationship.

Each of the proposed extensions would not project beyond the existing built form and as such would not add significant bulk or massing which would result in an overbearing or dominant impact over dwellings which are opposite the site.

As such, it is considered that there would not be concerns regarding overlooking or privacy to the dwellings opposite the development and such proposals would be in compliance with UDP Policy H2/1 and SPD6.

Design and appearance - The development proposes relatively minor extensions to the building which would not extend beyond existing building lines. The extensions would project from existing elevations and infill corner areas of the building to match the design of the existing building.

Window openings would be symmetrically positioned to reflect the existing facade, and materials proposed would match that of the building, and would be subject to a condition to provide samples to ensure suitable harmonisation with the building.

It is therefore considered that the proposed development would not impact on the visual amenity of the area and would be in keeping with the character of the existing building and the surrounding area, in compliance with UDP Policies EN1/2 and CF1/1.

Coal Authority - The site falls within the defined Development High Risk Area. Taking into consideration the mining legacy matters affecting the site, the Coal Authority have confirmed that a Coal Mining Risk Assessment would not be necessary for this proposal and do not object to the planning application. In the interests of public safety, it is recommended that an informative note within the decision notice be included.

Response to objector - The issues with regards to impact on residential amenity have been covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

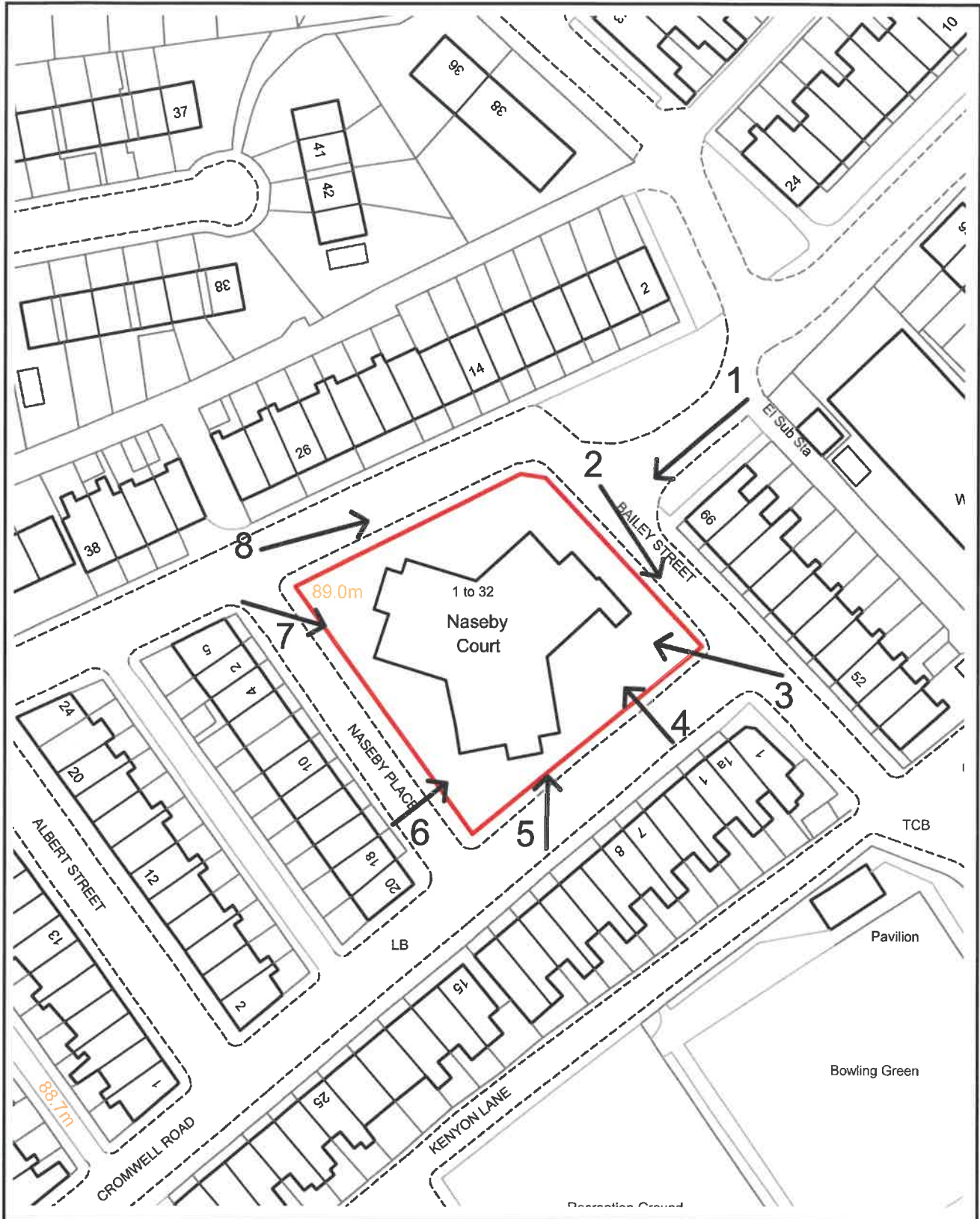
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Proposed site plan 16144-101-A; Ground floor plans 14000-200-B; First floor plans 14000-201-B; Second floor plans 14000-202-B; Roof plans 14000-203; east elevation 14000-204-B; 14000-205-B; 14000-206-B and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61448

**ADDRESS: Naseby Court, Hampden Road
Prestwich**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61448

Photo 1



Photo 2



61448

Photo 3



Photo 4



61448

Photo 5



Photo 6



61448

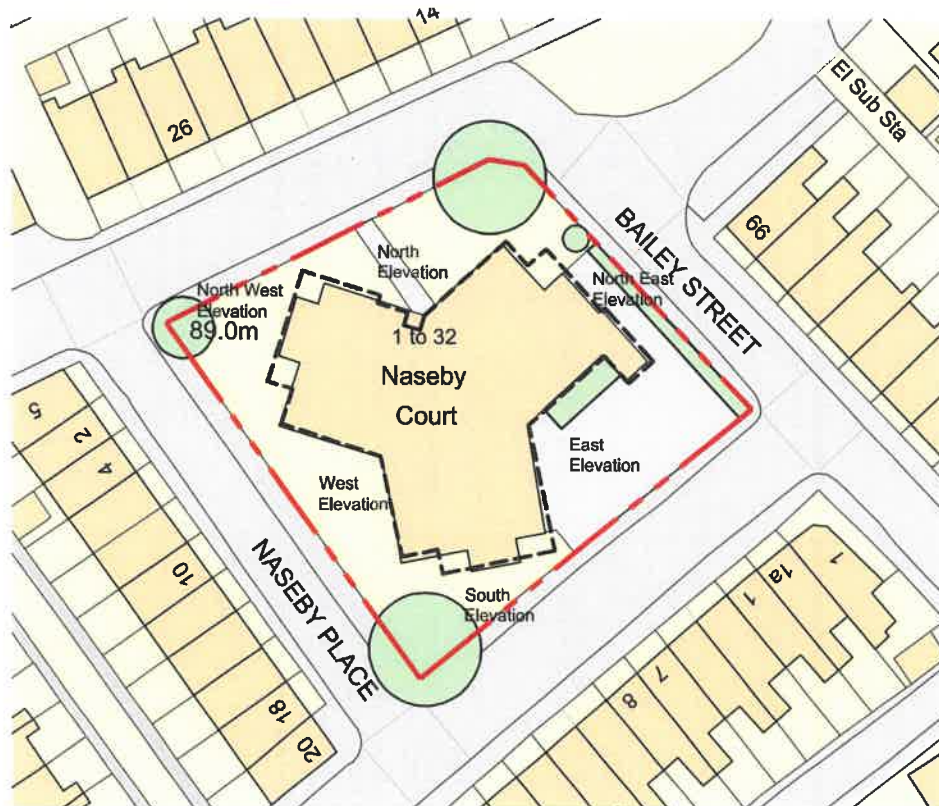
Photo 7



Photo 8



Due to the low contrast of scanning, scanned images should be scaled.



rev date description by

status: **PLANNING**

client: **Alpha (RSL) Ltd**

project: **Apartment Conversions
Naseby Court
Prestwich, Manchester**

drawing title: **Proposed Site Plan**

drawing no: **16144-101-A**

scale: **1:500** sheet: **A3**

date: **05 Dec 2016** by: **DK**
checked:

**paddock johnson partnership
architects**
Studio 2, The Lyceum, Bath Street, Port Sunlight, Wirral CH62 4JJ
e:enquiry@paddockjohnson.com w:www.paddockjohnson.com
t:+44(0)151 643 1234 f:+44(0)151 643 1666
Paddock Johnson Partnership Limited (England and Wales) "10340472" Architects Ltd



3
206

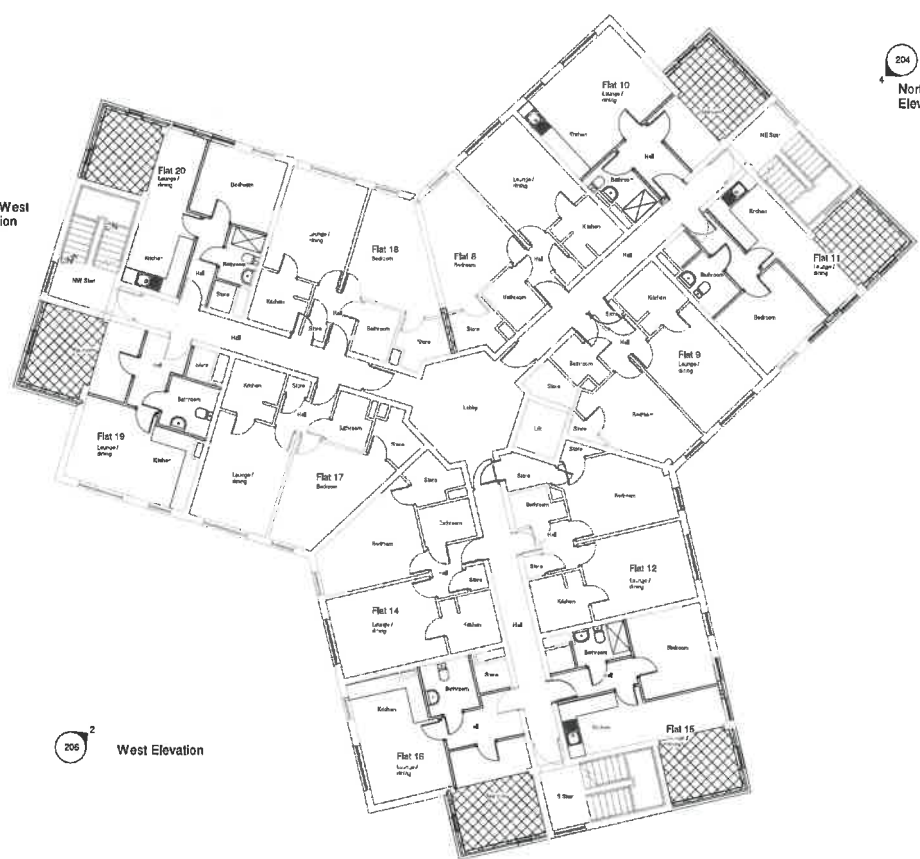


4
206

[illegible]



1 Level 1 First Floor Existing
1:100



2 Level 1 First Floor Proposed
1:100

1. All dimensions are in millimetres unless otherwise stated.
 2. All dimensions are to the centre of the wall unless otherwise stated.
 3. All dimensions are to the face of the wall unless otherwise stated.
 4. All dimensions are to the face of the wall unless otherwise stated.

rev	date	description	by
1	04/01/17	Window to flats 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 to first floor, and 20, 21, 22 to second floor amended to respect all fire escape distances required for planning consent	

author: **PLANNING**

client: Alpha Homes (RSL)

project: Naseby Court Alterations test

drawing file: First Floor Plans

drawing no: **14000-201-B**

scale: 1:100 sheet: A1

date: 04/28/17 by: checked: Author Checker



1 Level 2 Second Floor Existing
 1 : 100



2 Level 2 Second Floor Proposed
 1 : 100

A 22.06.17 From Normas Added, Elevation Key Amended OK
 B 04.07.17 Windows to Aisle 5.2, 7 on ground floor, 19, 20, 21 to 1st floor, and 28, 31, 32 to second floor amended in respect of window distance required for planning compliance

rev date description by
 status: **PLANNING**
 client: Alpha Homes (RSL)

project: Naseby Court Alterations
 test

drawing file: Second Floor Plans

drawing no: **14000-202-B**

scale: 1 : 100 sheet: A1

date: 04/28/17 by: checked: Author

checked: Checker

paddock johnson partnership
 architects

Studio 3, The Lyreworks, South Street, Portsmouth, Hants PO1 3JF
 Tel: 023 92 44 111 Fax: 023 92 44 112
 Email: info@paddockjohnson.co.uk Website: www.paddockjohnson.co.uk

- Plant Room
11035
- Parapet Level
- Level 3 Roof Level
Existing
7780
- Level 2 Second Floor
Proposed
5180
- Level 1 First Floor
Proposed
2600
- Level 0 Ground Floor
Proposed
0



1 North Existing
1 : 100

- Plant Room
11035
- Parapet Level
- Level 3 Roof Level
Existing
7780
- Level 2 Second Floor
Proposed
5180
- Level 1 First Floor
Proposed
2600
- Level 0 Ground Floor
Proposed
0



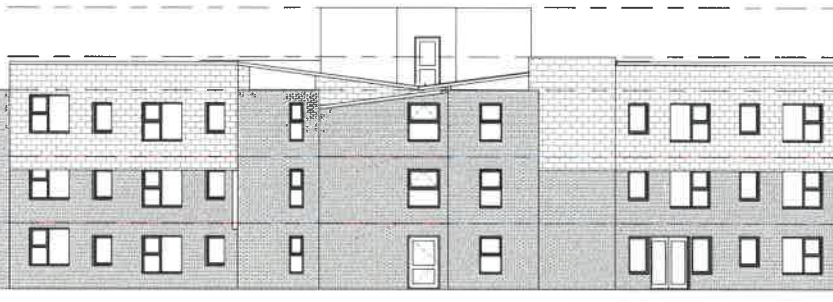
2 North Proposed
1 : 100

- Plant Room
11035
- Parapet Level
- Level 3 Roof Level
Existing
7780
- Level 2 Second Floor
Proposed
5180
- Level 1 First Floor
Proposed
2600
- Level 0 Ground Floor
Proposed
0



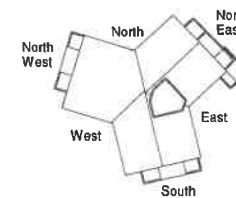
3 North West Existing
1 : 100

- Plant Room
11035
- Parapet Level
- Level 3 Roof Level
Existing
7780
- Level 2 Second Floor
Proposed
5180
- Level 1 First Floor
Proposed
2600
- Level 0 Ground Floor
Proposed
0



4 North West Proposed
1 : 100

notes:



5 Elevation Key
1 : 500

A 23.06.17 Room Names Added, Elevation Key Amended DK
S 04.07.17 Windows to Alpha 5A.7 on ground floor, 1A, 1B, DK
20 to 1st floor, and 2A.31.22 to second floor
omitted in respect of interface clearance
required for planning consent

rev date description by

author: **PLANNING**
client: Alpha Homes (RSL)

project: Naseby Court Alterations
1st

drawing title: North Elevation

drawing no: **14000-205-B**

scale: As indicated sheet: A1

date: 04/28/17 by: checked: Author

Checker
paddock johnson partnership
architects
Studio 2, The Grange, 10th Street, Port Botolph, West. CH4 4JL
01480 511111 01480 511111
A: 01480 511111 01480 511111
01480 511111 01480 511111

1 West
1 : 100



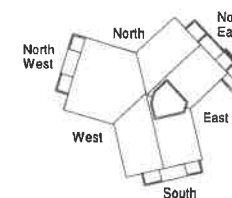
2 West
1 : 100



3 Sout
1 : 100



4 South
1 : 100



5 Eleva
1 : 500

A	22.06.17	Room Names Added, Elevation Key Amended	DR
B	04.07.17	Windows to Apts 3.6,7 on ground floor, 7a, 19, 20 to first floor, and 28,31,32 to second floor amended in respect of infiltration distances (required for planning consent)	DR

rev	date	description	
status:			
client:	PLANNING Alpha Homes [RSL]		
project:	Naseby Court Alterations Test		
drawing title:	West Elevation		
drawing no:	14000-206-B		
scale:	As Indicated	sheet:	/
date:	04/28/17	by:	A

**paddock johnson partnership
architects**
Studio 2 The Lyrebird, 6011 Street, Port Sunlight, Wirral CH46 4J
01492 566 111 Fax 01492 566 110
e: enquiries@pjparchitects.co.uk www.pjparchitects.co.uk

Architectural elevation drawing of the proposed building facade. The drawing includes a vertical scale on the left with level markers and a corresponding elevation drawing of the building facade.

Vertical Scale (Left):

- Plant Room 11035
- Parapet Level
- Level 3 Roof Level Existing 7780
- Level 2 Second Floor Proposed 5180
- Level 1 First Floor Proposed 2600
- Level 0 Ground Floor Proposed 0

The elevation drawing shows a multi-story building facade with a central entrance, multiple windows, and a flat roof. The building is shown in a perspective view, with the ground floor and upper floors clearly defined. The facade is composed of various materials, including brickwork and concrete. The drawing is a technical representation of the proposed building design.

Plant Room
11035

Parapet Level

Level 3 Roof Level
Existing
7760

Level 2 Second Floor
Proposed
5180

Level 1 Flat Floor Proposed
2600

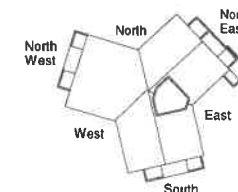
Level 0 Ground Floor Proposed
0

Plant Room
11035

Parapet Level

Level 3 Roof Level Existing
7780

Level 2 Second Floor Proposed



5 Elevation Key
1 : 500

B 04.07.17 Windows to Apts 8 & 7 on ground floor, 18, 19, 20 on 3rd floor, and 25.31, 32 to second floor amended in respect of interface distances required for planning consent

rev	date	description	by
1	2010-01-01	Initial release	John Doe

status:	PLANNING
client:	Alpha Homes [RSL]

project: Naseby Court Alterations
test

drawing title: East Elevation

drawing no: _____

14000-204-B

scale: As indicated short; A)

date: 04/28/17 by: chestnut AV

paddock johnson partnership
architects

architects
Studio 2 The Synonym, Bull's Street, Port Burridge, Wexford CHA2 1UJ
T +353 (0)87 966 1040 E +353 (0)87 966 1040
www.studio2architects.com

Ward: Prestwich - St Mary's

Item 04

Applicant: P&F Properties (Kersal Vale) Ltd

Location: Land at Kersal Vale Road, Prestwich, Salford, M7 3NT

Proposal: Outline - residential development to provide up to 118 residential units (Class C3) including means of access

Application Ref: 61474/Outline Planning
Permission

Target Date: 14/08/2017

Recommendation: Approve with Conditions

Description

The site comprises 3.6 hectares of land which is on the south west side of Prestwich and abuts the boundary with Salford City Council. The site involves two parcels of land separated by Kersal Vale Road. The larger of the sites is 2.85ha and borders Kersal Vale Road and Moor Lane and comprised the main Cussons factory which was demolished in 2010. The smaller parcel of land with an area of 0.75ha, relates to what was formerly the car park for the factory and sits between Kersal Vale Road to the east and the River Irwell to the west.

The sites have been cleared of buildings, with remnants of the previous use, hardstanding and reservoir, still visible across the site. Security fencing has been erected around the site boundary but all demolition rubble has been cleared from the sites.

The site is located within a predominantly residential area. To the north, the land rises steeply to a woodland area, beyond which are houses in Rainsough. The houses to the south across from Moor Lane are located within the Salford boundary. To the east there is open space, also in the ownership of the applicant, and to the west runs the River Irwell with Agecroft Cemetery beyond.

The application, which is a resubmission following an outline approval in 2013 which has since lapsed, seeks to obtain a fresh planning permission for the residential use of the land with access only being considered. Details show a new access would be created off Kersal Vale Road to serve the main site. The former car park land proposes to utilise the existing entrance that served the land from Kersal Vale Road. The indicative layout plan demonstrates a capacity for 118 dwellings across both sites. Matters relating to siting, layout, appearance and landscaping are not being sought at this time and are reserved for a future reserved matters application.

Relevant Planning History

01916/E - Pre-app enquiry for proposed residential development of 174 units (including 20 riverside apartments) with means of access from Kersal Vale Road. - Enquiry completed 14/12/2016

55915 - Outline - Residential development of 122 houses including means of access from Kersal Vale Road - Approved 05/04/2013

Publicity

Neighbour notification letters dated 17/05/17 sent to properties on at Halliwell Road; Rainsough Close; Rainsough Brow; Chapel Road; Chapel Walk; Drinkwater Road; Riverside; Moor Lane; Cowling Street; Linton Walk; Littleton Road; Castlewood Road. Site notice posted 17/05/2017 and press notice in the Bury Times 25/05/2017.

Two representations have been received from the resident at 98 Halliwell Road and another via email (address unknown). Neither are objecting to the development. One suggests that the development proceeds sooner rather than later due to the state of the land and the other relates to the proximity of existing trees to his property.

Those making representations have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objection.

Drainage Section - No objection.

Environmental Health - No objection.

Environment Agency - No objection.

Greater Manchester Police - No objection.

United Utilities - No objection.

Electricity North West Ltd - No objection.

The Coal Authority - No objection.

Fire Protection - No objection.

Greater Manchester Ecology Unit - No objection.

Salford Council - No objection.

Transport for Greater Manchester - No objection.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
RSS 13	Regional Spatial Strategy for the North West
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4	Housing Need
H4/1	Affordable Housing
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/6	Public Art
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN6/4	Wildlife Links and Corridors
EN8	Woodland and Trees
RT2	New Provision for Recreation in the Urban Area
RT2/1	Provision of New Recreation Sites
RT2/2	Recreation Provision in New Housing Development
HT5/1	Access For Those with Special Needs
HT6/1	Pedestrian and Cyclist Movement
HT6/2	Pedestrian/Vehicular Conflict
OL5/2	Development in River Valleys
EC6/1	New Business, Industrial and Commercial
EN9	Landscape
SPD4	DC Policy Guidance Note 4: Percent for Art
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD7	DC Policy Guidance Note 7 - Managing the Supply of Housing
SPD12	Travel Plans in Bury
SPD1	Open Space, Sport and Recreation Provision
SPD2	DC Policy Guidance Note 2: Wildlife Links & Corridors
EN3/1	Impact of Development on Archaeological Sites
EN3/3	Ancient Monuments

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning

considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle and Housing policy - The National Planning Policy Framework is a material planning consideration and emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis to identify a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up with sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring indicates that the Council is unable to demonstrate a five year supply of deliverable housing land (4.7 years with a 5% buffer applied in accordance with the NPPF) and this needs to be treated as a material factor when determining applications for residential developments.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

The proposal would redevelop a large scale redundant brownfield site. It is in a sustainable location with existing infrastructure in place to support the scale of the development and would bring benefits to the area and aid in regeneration. As such the principle is in general accordance with national and local planning policy and will assist in the Council meeting annual housing targets.

The principle of the proposal would comply with NPPF and UDP Policy H1/2 - Further Housing Development.

Loss of Employment Land - The site was assessed within the latest Employment Land Review which confirmed that the site was no longer suitable for employment redevelopment, and therefore should be considered for alternative uses.

River Valleys - The site lies in a River Valley policy area with the river valley boundary stretching for the most part from Drinkwater Park and Rainsough Brow in the north-west to the Kersal Road Play Area site in the east and also includes a section alongside the River Irwell west of Kersal Vale Road.

Policy OL5/2 Development in River Valleys does restrict new buildings or the change of use of land in river valleys except where the development would not lead to the division of open parts of the valleys into sections. The site is not in the Green Belt and therefore, in addition, the development is required to meet at least one of the circumstances listed in Policy OL5/2. These relate to the development representing limited infilling, an extension or renewal of existing industry, an outdoor recreational or tourist facility use, limited development essential to the maintenance and improvement of public utilities and finally,

development appropriate in a Green Belt.

Division of open sections - The detail of the layout is not under consideration at this time and would form part of a Reserved Matters application. Notwithstanding this, in the case of considering whether there is division of the open parts of the valley, it is clear that the development as proposed would cover the majority of this open land, particularly the lower parcel of land adjacent the river. However, even this site, given the intended density, has the ability to provide for riverside access southwards, outside of the Borough boundary towards Salford. It is considered that the proposed woodland walk along the top of the valley and the potential offered by opening up the riverside corridor west of Kersal Vale Road would ensure the valley would remain open and accessible on the northern and southern arms of the River Valley. Subject to these provisions it is regarded that the development would not divide the River Valley into sections and an informative would be provided with the decision notice to ensure that this consideration may come forward at the layout design stage of the reserved matters.

Five circumstances - With regard to the five circumstances set out in Policy OL5/2 for river valleys outside the Green Belt, these are judged as not being met as the outline scheme does not represent limited infilling, it is for residential development and is therefore considered inappropriate in a River Valley terms. However, the NPPF places considerable weight on the need for local planning authorities to meet national and local shortfalls of current housing supply and is a significant reason which holds considerable merit in this case, especially as it is a brownfield site and not deemed suitable for employment purposes following the Employment Land Review.

Green Infrastructure (GI) linkages - When considering the two key requirements of Policy OL5/2 above, it can be seen that the proposed development represents a potential departure to the development plan, as whilst the development would not divide the open parts of the valley into sections, it would not necessarily meet the five circumstances listed in the policy. Policy OL5/2 therefore requires compelling reasons to exist for such development to be considered acceptable. A shortfall in housing supply in the Borough is of course a strong material consideration that may justify a departure from established policy in the specific circumstances. It is also noted that affordable housing, recreation provision and ecological mitigation would be provided via legal agreements at the Reserved Matters stage.

Salford has significant areas of Green Infrastructure (GI) abutting the site and in compliance with the aims of UDP Policy OL5/2, the potential linkages to these areas can be incorporated as a fundamental part of the layout at Reserved Matters stage.

It is judged on balance that, in addition to the material consideration of the Council's need to ensure a five year supply of deliverable housing sites in the Borough, the national drive towards planning for Green Infrastructure within the NPPF is a key consideration in favour of overriding and thereby departing from Policy OL5/2 in this case.

Paragraph 114 of the NPPF requires local authorities to plan positively for creation, protection, enhancement and management of networks of Green Infrastructure (GI). There are strong cross-boundary GI connection opportunities between Bury and Salford alongside the River Irwell which could potentially be strengthened with improvements offered by this development. Policies DES6 and R6 of Salford's UDP all promote the potential of the Lower Irwell Valley for improving access, providing multifunctional benefits and facilitating strategic recreation routes in the area. Therefore, in addition to retaining the open parts of the valley in line with the objectives of Policy OL5/2, this development may provide the opportunity to aid in meeting the GI objectives of both Bury and Salford in the context of the Lower Irwell Valley area. The emerging Greater Manchester Spatial Framework also includes the Lower Irwell Valley area as part of an indicative Green Infrastructure network under Draft Policy GM7. Recreation provision required by RT2/2 and SPD1 is covered by a suitably worded condition and would help deliver the possibility of potential links.

Environmental Impact Assessment - Under the Environmental Impact Assessment Regulations the proposals have been screened for the requirement of Environmental Impact. It has been concluded that given the scale and nature of the proposed development and the likely impacts arising from the works, there would not be significant environmental effects arising from the development which would merit the submission of an Environmental Statement. The scheme is not considered to be subject of an Environmental Impact Assessment.

Access - The application, whilst in outline, is seeking approval for the means of access from Kersal Vale Road, with the principle of 118 dwellings. The proposals would incorporate an access road in and out of the old factory site on to Kersal Vale Road, with the existing access to the old car park site retained.

A Transport Assessment has been submitted with the application which concludes that the proposed access arrangements and traffic generated by the development could be accommodated by the local highway network, and there would be no transport reasons for the development not to proceed.

The Council's Traffic Section raise no objections to the means of access, subject to the imposition of appropriate conditions.

Highways and Parking - The indicative layout indicates that there could be sufficient parking provision for each dwelling. The volume of traffic which would be generated for a site this size would not be any more excessive than for any other similar sized residential schemes. The Council's SPD would have to be considered in detail at Reserved Matters stage.

Ecology - There are no national or local ecological designations affecting the site, although it is located within a Wildlife Link and Corridor and River Valley as defined by the UDP. However, there are a number of biodiversity issues effecting protected and UK Biodiversity Priority Species/Habitats which have been nominally addressed in the Preliminary Ecological Appraisal dated November 2016, but which would require additional on-site assessment of features/habitats/species prior to development.

Mill pond - The existing mill lodge which qualifies as a feature of ecological interest under EN6/3, would be lost as a result of the development. It is identified of moderate ecological value in a local context, although some mitigation would be required through a replacement pond. Whilst layout is schematic, the site would be too small to mitigate in full for the loss of the existing pond. The indicative layout demonstrates that the development could be accommodated on the land without comprising ecological concerns. Appropriate controls through planning conditions and ecological licensing would secure that and appropriate provision would be made to secure the long term future of the site and its surrounds.

Bats - The site has potential as both a bat foraging habitat and as a link in bat commuting route along the Irwell and the woodland edge. A detailed bat foraging/commuting assessment has not been carried out, and the actual value for the site for foraging and commuting, particularly in relation to the mill pond area is therefore unknown. Whilst a further survey at this stage would establish the foraging value of the areas of the site to be lost and potential mitigation identified, a resurvey would be required in any event for a Reserved Matters application in any case and as such considered not to be necessary at this time.

Otters - An ecological survey which concludes there was no evidence of otter activity recorded along the banks of the River Irwell. However, a record of an Otter was returned on the River Irwell adjacent to the site in the Background Data Search. The banks of the River Irwell offer suitable habitat for otters. An otter mitigation plan has been submitted with the application which specifies reasonable avoidance measures which will be employed during the construction period.

Sufficient information on ecological impact has been provided to be able to assess the outline scheme and ensure appropriate mitigation measures are implemented through planning conditions and a S106 legal agreement at the Reserved Matters stage to ensure that the local ecology is protected.

Greater Manchester Ecology Unit has not raised an objection subject to conditions.

Flood Risk - The site is located to the east of the River Irwell which flows in a southerly direction with Singleton Brook to the south western boundary of the site. The majority of the site is located within Flood Zone 1 where there is a low probability of flooding, with a small proportion of the site within Flood Zones 2 and 3 where there is a medium to high probability of flooding. The proposed development is classified as a more vulnerable use by the Environment Agency, which can be appropriate in these areas. The Environment Agency are satisfied that the submitted FRA is acceptable for the outline application. Conditions are suggested by the Environment Agency and these would be imposed and details would be sought at the Reserved Matters stage, subject to the layout.

Recreation - The indicative master plan shows a significant area of on-site open space would be provided. The Design and Access Statement and Planning Statement indicate the woodland area to the north would be equipped to deliver an accessible area for general public use as well as the creation of a new pond. Proposals also include a nature trail link from Moor Lane to the Irwell Trail which runs alongside the River Irwell. Detailed plans, layouts and calculations at reserved matters stage will ensure that usable on-site provision and/or potentially off-site contributions towards enhancement of open space (for example connection into the existing Green Infrastructure) would be provided in accordance with UDP Policy RT2/2 and SPD1, and would be covered by condition, to ensure policy compliance at this outline stage.

Footpaths, cycleways and Public Rights of Way - A public footpath runs along the eastern boundary of the site connecting Moor Road to the houses above the site at Rainsough. The indicative layout also demonstrates there could be a future link through the site from the woodland trail to Kersal Vale Road and again details of this would be required at a later date.

There is the possibility of obtaining appropriate cycleway link along the western boundary from an existing cycleway running along the River Irwell to the south. This would be detailed in a Reserved Matters application and secured through an appropriate condition or legal agreement.

Residential amenity - The indicative layout shows the site would be able to accommodate 118 dwellings without compromising aspect standards or generating issues of privacy and overlooking beyond the site.

Subject to all other details which would be considered at Reserved Matters stage, the proposals are acceptable in principle and would comply with H2/1 and H2/2.

S106 requirements - Matters relating to recreation provision, affordable housing and ecological mitigation measures would be covered by appropriate conditions with details and a S106 legal agreement sought at the Reserved Matters application stage.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. Applications for approval of reserved matters must be made not later than:
 - the expiration of three years beginning with the date of the grant of outline planning permission; and
 - that the development to which the permission relates must be begun not later

than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the last such matter to be approved.

Reason. Required to be imposed pursuant to Section 51 of the Planning and Compulsory Purchase Act 2004

2. Before the development is commenced, the applicant shall submit detailed plans and particulars to the Local Planning Authority, and obtain their approval under the Town and Country Planning Acts, of the following reserved matters; the layout, scale, appearance, and the landscaping of the site.

Reason. To ensure the satisfactory development of the site and because this application is in outline only.

3. This decision relates to drawings numbered 01/A, 02/G, 03/A, 04/B, ELL/147/PFP/003-1 Rev A, ELL/147/PFP/003-2 Rev A, Planning Statement May 2017, Air Quality Assessment 101453 April 2017, Arboricultural Impact assessment May 2017, Statement of Community Involvement April 2017, Preliminary Ecological Assessment 856810 November 2016, Design and Access Statement April 2017, Flood Risk Assessment and Drainage Strategy April 2017, Transport Assessment April 2017, Framework Residential Travel Plan April 2017, Preliminary Geoenvironmental Appraisal December 2016, Arboricultural Impact Assessment May 2017, Water Framework Directive Assessment April 2017, Crime Impact Statement.

The development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

4. The development hereby approved shall include provision for recreation that would be sufficient to be in accordance with the requirements of SPD1 and Bury Unitary Development Plan Policy RT2/2.

Reason. To provide on-site recreation provision pursuant to Unitary Development Plan Policy RT2/2 - Recreation Provision in New Housing Development and SPD1 Recreation Provision in New Housing Development.

5. The development authorised by this permission shall not begin unless and until the Local Planning Authority has approved in writing a scheme to secure Affordable Housing provision as part of the development, which shall include a mechanism for delivery, in accordance with policy H4/1 – Affordable Housing and its associated SPG5 – Affordable Housing Provision in New Residential Developments. The scheme shall be submitted as part of the reserved matters application and the affordable housing provision shall be delivered in full accordance with the approved details.

Reason. To ensure that the development would contribute to satisfying the need for affordable housing provision pursuant to Bury Unitary Development Plan Policy H4/1 - Affordable Housing and the associated Development Control Policy Guidance Note 5 - Affordable Housing Provision In New Residential Developments.

6. Prior to determination of any Reserved Matters application, an ecological habitat mitigation scheme shall be submitted to and approved in writing by the Local Planning Authority.

The scheme shall include:

- A method statement with measures taken to protect the River Irwell during development.

- A full ecological survey of the site, including bats, badgers and otters.
- Details of on-site provision for ecological mitigation including a replacement pond, Reasonable Avoidance Measures relating to protected species and enhancement of retained habitats.
- Details of off-site ecological provision and how this will be secured, including a mechanism for delivery of such provision.

The approved scheme shall be implemented in accordance with the approved details.

Reason. To ensure the site retains and enhances the biological diversity of the site pursuant to Bury Unitary Development plan Policy EN6/3 - Features of Ecological value and Chapter 11 Sections 109, 117 and 118 Conserving and enhancing the natural environment of the NPPF.

7. No development shall take place until a landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscaped areas (except privately owned domestic gardens), shall be submitted to and approved in writing by the local planning authority. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the local planning authority. The scheme shall include the following elements:
 - detail extent and type of new planting, including planting schedule largely based on native species.
 - details of maintenance regimes including adequate financial provision and named body responsible for management plus production of detailed management plan
 - details of treatment of site boundaries and/or buffers around water bodies.

Reason. To ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site in line with secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN6 - Conservation of the Natural Environment, EN6/4 - Wildlife Links and Corridors and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan, and Chapter 11 - Conserving and enhancing the natural environment of the NPPF.

8. No development shall take place until a detailed method statement for removing or the long-term management / control of Japanese knotweed, Giant hogweed, Himalayan balsam, Rhododendron, Giant knotweed on the site shall be submitted to and approved in writing by the local planning authority. The method statement shall include proposed measures that will be used to prevent the spread of Japanese knotweed, Giant hogweed, Himalayan balsam, Rhododendron, Giant knotweed during any operations e.g. mowing, strimming or soil movement. It shall also contain measures to ensure that any soils brought to the site are free of the seeds / root / stem of any invasive plant covered under the Wildlife and Countryside Act 1981, as amended. Development shall proceed in accordance with the approved method statement.

Reason. To prevent the spread of Japanese knotweed, Giant hogweed, Himalayan balsam, Rhododendron Giant knotweed which is an invasive species. Without it, avoidable damage could be caused to the nature conservation value of the site contrary to national planning policy as set out in the National Planning Policy Framework paragraph 109, which requires the planning system to aim to conserve and enhance the natural and local environment by minimising impacts on biodiversity and providing net gains in biodiversity where possible.

9. No development shall take place until a scheme for the provision and maintenance of a buffer zone along the bank top of the River Irwell and Singleton Brook has been submitted and approved in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the approved timetable of works. The buffer zone scheme shall be free from all built

development including lighting, car parking, domestic gardens and formal landscaping; and could form a vital part of green infrastructure provision. The scheme shall include:

- detailed plans showing the extent and layout of the buffer zone
- details of all retained riparian landscaping/trees along riverside corridor.
- details of any proposed new planting scheme, including planting schedule, which is largely based on native species.
- details demonstrating how the buffer zone will be protected or even enhanced during development i.e. removal of redundant hardstanding, and managed/maintained over the longer term
- details of any proposed new footpaths, cycle routes, fencing, lighting etc. along these key ecological networks
- details of a habitat enhancement plan.

Reason. To enhance the ecological biodiversity value of these running water features adjoining the site pursuant to Bury Unitary Development plan Policy EN6/4 - Wildlife Links and Corridors and chapter 11 - Conserving and enhancing the natural environment of the NPPF.

10. Details submitted for reserved matters approval shall show a clear 8m easement to the bank top of the River Irwell and Singleton Brook. The easement shall be free of gardens, dwellings and other structures that would impede access along the bank top.

The scheme shall be fully implemented and subsequently maintained, in accordance with the timing / phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason. To ensure access to the watercourses is available for essential future flood risk maintenance or improvement works pursuant Chapter 10 of the National Planning Policy Framework (PPS 1 (22) and PPS 25 (F8)) and Unitary Development Plan Policy EN5/1 - New Development and Flood Risk.

11. Prior to development an outdoor lighting design strategy for the site shall be submitted to and approved in writing by the LPA. The strategy shall:

- Identify areas/features on site that are potentially sensitive to lighting for bats and otter
- Show how and where the external lighting will be installed (through appropriate lighting contour plans) so that it can be demonstrated clearly that any impacts on wildlife are negligible
- Specify frequency and duration of use.

All external lighting shall be installed in accordance with agreed specifications and locations set out in the strategy.

Reason. In order to ensure that any lighting scheme does not have a detrimental impact on protected species pursuant to Bury Unitary Development plan Policy EN6/3 - Features of Ecological Value and chapter 11 Conserving and enhancing the natural environment of the NPPF.

12. The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) by Enzygo (SHF.1042.001.HY.R.002.A and the following mitigation measures detailed within the FRA:

- Provision of compensatory flood storage as outlined in section 4.3.4 of the FRA.
- Finished floor levels are set no lower than 600mm above the 1% AEP + 35%
- climate change flood levels or, 150mm above external ground levels whichever is the higher.

The mitigation measures shall be fully implemented prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason. To prevent flooding elsewhere by ensuring that compensatory storage of flood water is provided and to reduce the risk of flooding to the proposed development and future occupants pursuant to the NPPF Section 10 and UDP Policy EN5/1 New Development and Flood Risk.

13. The development hereby permitted shall not be commenced until such time as details of proposed floor levels have been submitted to, and approved in writing by, the Local Planning Authority. The scheme shall be fully implemented and subsequently maintained, in accordance with the timing / phasing arrangements embodied within the scheme.

Reason. To reduce the risk of flooding to the proposed dwellings and occupants pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

14. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction unless otherwise agreed in writing by the Local Planning Authority.

Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Bury Unitary Development Plan Policies and HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.

15. No development shall commence until details of foul and surface water drainage aspects have been submitted to and approved by the Local Planning Authority. This must include details of proposed SuDS schemes for surface water drainage. No surface water from this development should be discharged either directly or indirectly to the combined sewer network. This site must be drained on a separate system, with only foul drainage connected into the foul sewer.

Reason. To reduce the increased risk of flooding and pursuant Chapter 10 of the National Planning Policy Framework (PPS 1 (22) and PPS 25 (F8)) and Unitary Development Plan Policy EN5/1 - New Development and Flood Risk.

16. Notwithstanding the details indicated on approved plans, full details of the following highway aspects shall be submitted on a topographical survey base at first reserved matters application stage;

- proposed new site access and access to the 'Riverside Apartments' onto Kersal Vale Road incorporating acceptable junction geometry and kerb radii;
- any individual driveways onto Kersal Vale Road at acceptable positions between the main site access and the access to the 'Riverside Apartments';
- reinstatement of all redundant accesses to adjacent footway levels on Kersal Vale Road and Moor Road;
- demarcation of and boundary treatment at the interface with the adopted highway on Kersal Vale Road and Moor Lane;
- provision of a minimum 2.0m wide footway abutting the site on the north-easterly side of Kersal Vale Road;
- proposed pedestrian refuge on Kersal Vale Road;
- a scheme of boundary fencing/kerbline improvements on Kersal Vale Road, incorporating an appropriate rubbing strip, on the south-westerly side of Kersal Vale between the proposed pedestrian refuge and the existing stone retaining wall;
- a scheme of traffic calming measures on Kersal Vale Road between its junctions with Rainsough Brow and Moor Lane;
- measures to prohibit vehicular access between the proposed estate roads and Moor Lane;

- proposed internal estate road layout, visibility splays/forward visibility envelopes at junctions and bends in accordance with the standards in Manual for Streets and a refuse collection vehicle swept path analysis;
- pedestrian accesses onto the adjacent highway and any necessary off-site pedestrian guardrailing.

The highway works subsequently approved shall be implemented to an agreed programme and the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of highway safety pursuant to Bury Unitary Development Plan Policies H1/2 - Further Housing Development and H2/2 - The Layout of New Residential Development.

17. Provision for lifetime homes shall be incorporated into the development in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority prior to the development hereby approved commencing. The development shall then be carried out incorporating the measures in accordance with the approved scheme.

Reason. To ensure that the development is fully accessible to disabled persons pursuant to Policies HT5/1 – Access for Those with Special Needs of the Bury Unitary Development Plan.

18. The visibility splays indicated on approved plans shall be implemented to the written satisfaction of the Local Planning Authority before the site accesses are brought into use and subsequently maintained free of obstruction above the height of 0.6m.

Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.

19. There shall be no direct means of vehicular access between the site and Moor Lane.

Reason. To ensure good highway design in the interests of road safety pursuant to Bury Unitary Development Plan Policies HT2/2 - The Layout of New Residential Development.

20. No development shall commence unless and until:-

- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

21. Following the provisions of Condition 20 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

22. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validity evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

23. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:
- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
 - A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

24. No development shall commence until an assessment of the impact of the development on local air quality in relation to each of the objectives in the Air Quality Regulations 2000 and (Amendment) Regulations 2002 has been submitted for approval by the Local Planning Authority. The assessment shall include the cumulative impact of other unrelated developments in the same area. Any recommendations of the assessment shall be carried out in accordance with the approved assessment.

Reason. To ensure the development does not lead to, or significantly add to predicted exceedences of any objectives detailed in the Air Quality Regulations and (Amendment) Regulations 2002 and pursuant to chapter 11 - Conserving and enhancing the natural environment of the NPPF.

25. No development, site clearance or building work shall take place unless and until a desk study, scoping report for a watching brief and a program of archaeological works have been submitted to and approved in writing by the Local Planning Authority. These works shall be carried out in accordance with the approved scoping report.

Reason. To make a record of buildings and features of archaeological interest and to comply with legislative requirements pursuant to policies EN3/1 – Impact of Development on Archaeological Sites, EN3/2 – Development Affecting Archaeological Sites of the Bury Unitary Development Plan and chapter 12 -

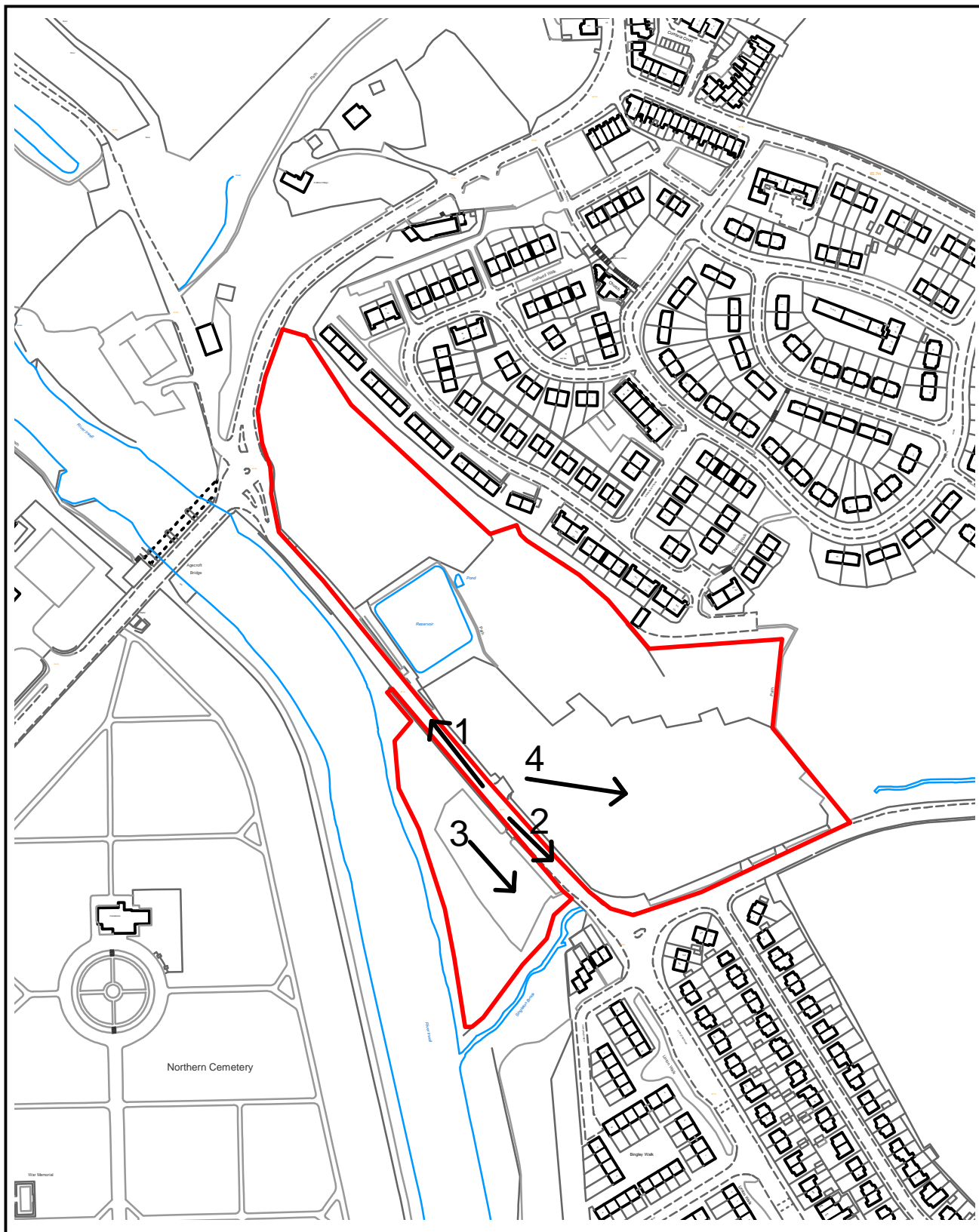
Conserving and enhancing the historic environment of the NPPF.

26. No vegetation clearance shall be carried out between 1st March and 31st August inclusive in any calendar year.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61474

**ADDRESS: Land at Kersal Vale Road.
Prestwich**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61474

Photo 1



Photo 2



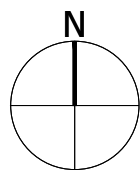
61474

Photo 3



Photo 4





LEGEND

- Apartment
- 2b House
- 3b House
* End of Terrace
- 3b House (linked)
- 3b Townhouse
- 4b Townhouse

Project
**Kersal Vale Road
Prestwich**

Drawing Title
**Indicative Layout
118 Units**

Date 26.04.17	Scale 1:1000 @A1	Drawn by HS	Check by CA
Project No 26732	Drawing No 02	Revision G	

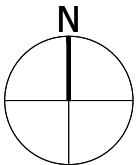


Planning • Master Planning & Urban Design • Architecture •
Landscape Planning & Design • Environmental Planning •
Graphic Communication • Public Engagement • Research

bartonwillmore.co.uk



Offices at Bristol Cambridge Cardiff Ebbw Vale Edinburgh Leeds
London Manchester Newcastle Reading Solihull Southampton



LEGEND

- Application Site Boundary
- Location of vehicular access
- Extent of frontage for vehicular cross over
- Proposed vehicular access and footpath along Kersal Vale Road
- Location of pedestrian access
- Residential development area, including front and rear gardens, associated planting, movement routes and parking
- Existing landscape buffer and woodland to be retained and managed
- Proposed open space and landscaping
- Proposed river frontage, including existing trees and proposed landscaping

Project Kersal Vale Road Prestwich			
Drawing Title Parameters Plan			
Date 26.04.17	Scale 1:1000 @A1	Drawn by KS	Check by HS
Project No 26732	Drawing No 03	Revision A	



**BARTON
WILLMORE**

Planning • Master Planning & Urban Design • Architecture •
Landscape Planning & Design • Environmental Planning •
Graphic Communication • Public Engagement • Research

bartonwillmore.co.uk



Offices at Bristol Cambridge Cardiff Ebbw Vale Edinburgh Leeds
London Manchester Newcastle Reading Solihull Southampton

Ward: Whitefield + Unsworth - Unsworth

Item 05

Applicant: Galliford Try Building - North West

Location: Castlebrook High School, Parr Lane, Bury, BL9 8LP

Proposal: Demolition of existing main school building and erection of new (relocated replacement) main school building, relocated hard surface games areas, car parking and landscaping and new substation

Application Ref: 61515/Full

Target Date: 11/08/2017

Recommendation: Minded to Approve

The application has been advertised as a Departure from the Bury Unitary Development Plan.

Should Committee be minded to approve the application, the Council must notify the Secretary of State to give an opportunity to consider using call in powers due to the scale of development in the Green Belt. If the Secretary of State does not do so after 21 days, the Council may then grant the permission.

A site visit has been requested by the Development Manager prior to the Planning Committee meeting.

Description

The application relates to a High School and its grounds and play areas, which was constructed in the 1970's and occupies a site area of approximately 11 hectares.

The existing school comprises of 3 buildings located within the northern part of the site. The main school building is 2 storeys high, and occupies a floor area of circa 9,000 sqm. East of this is a sports block, 1,384 sqm and a construction technology block, 501 sqm. Outdoor sports facilities are an all weather pitch and hard surfaced Multi Use Games Area (MUGA) located to the south of the site, to the west of the M66 motorway, and there is an additional playing field on the opposite side of the motorway to the east, which would be unaffected. The MUGA and sports pitch are within the Green Belt, the existing school buildings are not.

Vehicular access to the site is via the entrance off Parr Lane and leads to a car park at the front of the site providing 48 spaces for staff and visitors. Pedestrian access is also off Parr Lane via tarmaced footpaths.

There is a public footpath which runs through the site, between the school buildings and the play areas which leads directly to the underpass at the motorway and the land beyond to the east.

The topography of the land is such that the site slopes away by approximately 6m from the access road and Parr Lane to the southern area where the outdoor play facilities are located. This southern area of the site is also constrained by the presence of an established ecological habitat of Great Crested Newts.

The wider area is characterised by residential development to the north and west, with Unsworth Cricket and Tennis Club to the south and the M66 motorway to the east.

This application seeks the redevelopment of the site to provide a new school building and

associated sports facilities. The development has come forward as part of the Government's Priority School Building Programme which is rebuilding or refurbishing those schools identified in the worst conditions in the country. Castlebrook High has been recognised as such a school and if planning permission is approved, would receive funding from this programme.

The proposal involves the provision of a 3 storey main school building, 3 new hard surface MUGA's, new car park and associated infrastructure. The existing school would be demolished following completion and occupation of the new building.

Main school building - This would be sited to the south of the existing school buildings on the existing MUGA pitch, and which is located in the Green Belt. The new building would be 3 storey in height, and 'L' shape in design. Pathways would be provided around the building and would provide level access to and from the building.

The main entrance would be located on the north west corner of the building facing the access into the site and would be defined by bronze metallic cladding panels on the upper 2 floors. The school name and logo would be emblazoned on the cladding to denote the entrance. The remaining part of the building would comprise dark blue/grey brick with aluminium window openings and a fully glazed curtain walling to the dining area and lower part of the entrance.

Sports facilities - 3 new MUGA's would be provided to the south of the new school building and the existing all weather pitch, to the specification and standards required by Sport England. The existing sports hall would be retained to the north of the site. The sporting facilities are currently used by community clubs outside of school hours and at weekends and these facilities would continue to be available following the redevelopment.

There are no proposals for the existing playing fields and pitch which are located to the east of the motorway, which would remain as existing.

Access and parking - Vehicular access into the site would be as existing requiring relatively minor works only to include re-alignment of the kerb to provide an improved radius and visibility. A separate pedestrian access would also be provided off Parr Lane which would lead to the main entrance.

The main car park would be similarly located at the top of the site, with overflow parking located next to the sports hall. Parking provision would increase from the current 48 spaces to 100 spaces.

The Public Right of Way (PRoW) which runs through the middle of the school site would be retained.

Boundary treatments and landscaping - A hard and soft landscaping scheme would be incorporated within the site. Existing perimeter fencing would be retained, with a paladin mesh fence added along the front of the site, and ball stop fencing incorporated around the MUGA pitches.

Phasing and implementation - The phasing shows how the works could be carried out, and accessed without interfering with the functionality of the school, enabling staff and students to remain at the site.

In terms of sports facilities, as the existing sports hall would be retained and as it is to the north of the site away from the development area, there would be no disruption to its continued use. Access to the all weather pitch would also be retained at all times, and one of the new MUGA's constructed and available on commencement of the new building.

During construction, a temporary access road and car park will be created to the north of the existing access road to serve the school.

The demolition of the existing school building would also be phased. On completion, this part of the site would be surfaced and landscaped to create a green and open space.

Relevant Planning History

01885/E - Pre - app enquiry for the construction of a new build three storey superblock of approx 4,917m² & the demolition of the existing school approx 7,684m². - Enquiry completed 03/10/2016

01977/E - Demolition of existing school and construction of new build school (approx. 6175 m²) - Enquiry completed 15/05/2017

45516 - Proposed construction of single storey hall. - Approve with Conditions 31/01/2006

52670 - Extension to existing construction hall to provide additional facilities - Approve with Conditions 23/07/2010

53677 - Single storey extension - Approve with Conditions 12/04/2011

Publicity

221 properties notified by letter on 22/5/2017. The full list of addresses can be found on the public file.

Site notice posted 26/5/2017 at locations at - Sunnybank Library, Castlebrook High, Parr Lane shopping centre, Kennedy Drive (Mersey Drive Primary School), Parr Lane/Kennedy Drive junction, Hollins Lane.

Press advert in the Bury Times on 25/5/2017.

No responses received as a result of the publicity. A Statement of Community Involvement has been submitted with the application.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No objection subject to condition. The recommendations of United Utilities regarding the position of the aqueduct should be included separately.

Environmental Health Contaminated Land - No objection subject to conditions.

Environmental Health Pollution Control - No response received.

Public Rights of Way Officer - No objection

Waste Management - No response received.

Greater Manchester Police - designforsecurity - No objection in principle and recommend the development is carried out in accordance with the recommendations and the physical security specification where feasible, of the Crime Impact Statement.

United Utilities (Water and waste) - A formal easement and water aqueduct crosses the site. A diversion may be required as a result of the development. Condition recommended

Transport for Greater Manchester - No objection.

Greater Manchester Ecology Unit - No objection subject to conditions and informatives.

Sport England - No objection subject to condition and informative.

Environment Agency - No response received. The site is in Flood Zone 1 and identified as low risk to flooding.

Transport for Greater Manchester - No objection. Recommend the Travel Plan be updated.

Unitary Development Plan and Policies

NPPF National Planning Policy Framework

EN1/1 Visual Amenity

EN1/2 Townscape and Built Design

EN1/3 Landscaping Provision

EN1/5 Crime Prevention

EN5/1 New Development and Flood Risk

EN6 Conservation of the Natural Environment

EN6/3 Features of Ecological Value

EN7 Pollution Control

EN7/1	Atmospheric Pollution
EN7/2	Noise Pollution
EN7/3	Water Pollution
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
EN9	Landscape
EN10	Environmental Improvement
OL1	Green Belt
OL1/2	New Buildings in the Green Belt
RT1/1	Protection of Recreation Provision in the Urban Area
RT1/2	Improvement of Recreation Facilities
RT2	New Provision for Recreation in the Urban Area
RT2/3	Education Recreation Facilities
RT2/4	Dual-Use of Education Facilities
HT4	New Development
HT5	Accessibility For Those With Special Needs
HT5/1	Access For Those with Special Needs
HT6	Pedestrians and Cyclists
HT6/1	Pedestrian and Cyclist Movement
HT6/2	Pedestrian/Vehicular Conflict
CF1	Proposals for New and Improved Community Facilities
CF1/1	Location of New Community Facilities
CF2	Education Land and Buildings
SPD3	DC Policy Guidance Note 3: Planning Out Crime
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD11	Parking Standards in Bury
SPD12	Travel Plans in Bury
EN7/4	Groundwater Protection
HT2	Highway Network

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Green Belt - The existing school building is not on land allocated as Green Belt but the proposed new school would be located on land in the southern part of the site which is Green Belt.

National planning policy on Green Belts is contained within the National Planning Policy Framework (NPPF). Paragraph 89 of the NPPF states that the construction of new buildings is inappropriate in the Green Belt unless it meets one of a number of exceptions. Paragraph 90 also includes a number of forms of development which may be appropriate in the Green Belt.

The construction of a school building as is proposed does not accord with any of the exceptions within Paragraph 89 or 90. Whilst the proposed school is partially on the site of previously-developed land currently used as a MUGA, the remainder is on greenfield land and therefore the exception is not met. Regardless of the greenfield element, even if the proposal were entirely on brownfield land the proposal would be required under Paragraph 89 to not have a greater impact on the openness of the Green Belt and the purpose of including land within it. It is judged that this test could not be satisfied with the introduction of a 3-storey building into a site which aside from the hardstanding of the existing MUGA has a general absence of built development.

The proposal does not meet the exceptions of Paragraph 89 or 90 and therefore the Council considers it to be inappropriate development in the Green Belt. Paragraph 87 of the NPPF finds that inappropriate development is by definition harmful to the Green Belt and should not be approved except in Very Special Circumstances (VSC). Paragraph 88 states that VSC's will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations.

Additional harm is likely to be caused to the openness and character of the Green Belt by the size, massing and design of the new building when compared with the existing MUGA.

SPD8 requires careful consideration to be given to the impact of a new building when viewed from several locations in both the immediate vicinity and the wider countryside, noting that large scale buildings are difficult to site unobtrusively on hill terrain and that applicants should give consideration to the design, colour and use of appropriate landscaping to minimise impact.

In terms of size and massing, the application contains a number of photomontages and 3D views which have been provided seeking to demonstrate that the new school building would be well screened by existing trees and in many cases would be viewed against the backdrop of existing development in Unsworth, particularly from the M66 motorway. The 3D view of the new school from Parr Lane, with the existing school demolished in the foreground, show the building to be set down and well-related to existing buildings on the school site. A cross-section of existing and proposed buildings confirms that the building is situated within the lowest part of the site and, accounting for the fact that the school steps down the slope at present, is therefore at a lower level than the highest part of the existing school buildings.

In terms of height, the new school will be marginally higher than the sports hall in (11.25m compared with 10.12m). Whilst the sports hall is not in the Green Belt, it is important to assess this relationship to arrive at a view on what impact the new building will have on both the immediate site and on the Green Belt in terms of size and massing. It is judged that the building will not appear as being unduly large in its setting as it is set down at a lower level, particularly when viewed from Parr Lane, and is situated alongside buildings of a similar size, therefore mitigating the impact and meeting guidance in SPD8.

The proposed school is of contemporary design and is not what would be expected of a building in the Green Belt. SPD8 specifies that materials should be sympathetic with the location, minimising visual impact. The elevations include a striking bronze metallic entrance area and aluminium framed windows. However, it is judged that the design is appropriate for an educational building, is justified in that the building is to be a state-of-the-art modern replacement for the existing school and a focal point for the community, and finally because it is in keeping with its urban-edge setting as the high quality palette of materials chosen such as the blue/grey brick are not intrusive and will blend in well with existing development adjacent the site.

The applicant has submitted the following case for Very Special Circumstances:

- The identified educational and operational need for a new school building;
- The absence of suitable alternative development options within the site boundary;
- A lack of suitable alternative sites outside the Green Belt;
- The site is surrounded on 3 sides by development and the motorway and therefore lacks of significant role and function as part of the Green Belt, and instead provides an infill opportunity;
- The quality of design proposed ensuring any impact on the Green Belt is substantially limited.

A number of supporting documents have been produced which add weight to the Very Special Circumstances listed above. Each of these are now taken in turn:

Very Special Circumstances 1 - Need for new school building

The Education and Skills Funding Agency (ESFA) are tasked to nationally identify poor quality school buildings that have a negative effect upon education provision. Out of all of the high schools in England, the ESFA received 1,299 expressions of interest for the funding programme. Castlebrook was identified as one of 277 schools where the condition need was the most acute.

The case presented here is that the ESFA have identified a very small proportion of poor schools across England that urgently need addressing, which elevates the need on this site markedly in a national sense.

The Planning Statement outlines that the existing school building dates from the 1970s and is dilapidated, being not fit for purpose in terms of heating and ventilation, has limited space, has poor internal accessibility, and suffers from other issues which are a danger to pupil safety such as asbestos.

The new school would be of modern design allowing temperature control and will offer the latest facilities including interactive white boards, WiFi, specialist classroom areas, flexible spaces, lifts and ramps throughout and will maintain high standards of sustainability and energy and water efficiency. The building would be designed to meet the ESFA Facilities Output Specification, which requires a level of performance comparable to BREEAM Very Good. The building would be designed to a high standard in terms of sustainability and energy and water efficiency, including solar panels on the roof to embrace the benefits of renewable energy generation as part of the scheme.

Very Special Circumstances 2 - Absence of other options within the school boundary

The applicant has considered other options within the school boundary that would not involve Green Belt and it has been concluded that none of these are feasible and are restricted by site constraints of the Haweswater Aqueduct, a main water feed for the North West region, the public right of way and power lines.

Doing nothing would allow the physical state of the school to decline resulting in ever increasing maintenance costs and would not deliver the improvements required. Refurbishment of the existing school would not remedy the asbestos issues and existing operational problems. Lastly, the construction of a new school on the existing footprint would cause phasing and programme issues, would require temporary accommodation, would involve a longer construction timetable and would result in £2 million of abnormal costs which would be unviable and undeliverable.

Both refurbishment and the latter rebuild on the existing footprint would cost more than the proposed new build.

Very Special Circumstances 3 - Lack of suitable non-Green Belt sites

The Alternative Sites Assessment sets out a methodology and assessment of both a long and short list of sites within a 3 mile radius of the site that are outside the Green Belt, are a minimum of 5 hectares and which have potential to accommodate the school. This closely reflects the majority of the school's main catchment. It is concluded that there are no suitable alternative sites which are capable of accommodating the relocation of the school within the required timescale. It is also outlined in the Planning Statement that a split site would have challenges in that the EFA funding allocation is limited to the re-provision of the main school building and not the construction centre and sports hall. Therefore in operational terms the only feasible option for the new school is within the existing school curtilage, as the alternative would involve significant staff and pupil movement.

Very Special Circumstances 4 Role/function of Green Belt and as an infill opportunity

Evidence in the Greater Manchester Green Belt Assessment shows that Parcel BU39, in which the application site is located, records the following scores against each purpose:

- Purpose 1 (un-restricted sprawl) : Moderate – Strong

- Purpose 2 (prevent merging) : Weak
- Purpose 3 (safeguarding the countryside from encroachment) : Moderate
- Purpose 4 (preserve the setting and special character of towns) : No contribution

The applicant outlines in the Planning Statement that whilst the evidence above is highly relevant to the application, the site's performance against the purposes is different due to its particular characteristics, particularly for Purpose 1 on checking unrestricted sprawl.

The site, which is already in existing educational use, makes a limited contribution to urban sprawl and the proposed development will form an infill opportunity within the curtilage of existing school site which is confined on three sides by pre-existing built form including residential development to the north and west and the clear defensible boundary of the M66 at a raised level to the east. Whilst the building would be three stories, it sits in a clear 'dip' between the motorway and residential development and will effectively nestle into its developed backdrop when viewed from the motorway and the demolition of the old school would open up the site when viewed from Parr Lane.

It is concluded that there would be no adverse impact on the current role of the Green Belt and that the development can be sensitively accommodated within the landscape.

Other considerations highlighted are as follows:

- The proposal would not reduce the physical gap between settlements;
- The application site is subject to more urbanising influences than the wider BU39 parcel, being part of an existing school curtilage rather than open natural landscape or farmland, and therefore does not have open countryside characteristics.

Very Special Circumstances 5 - Quality of design

The proposed development has been designed to fit in with the context of the site and surrounding area, the palette of materials chosen such as the blue/grey brick, ensure the building will blend in well with the existing site and would not dominate the landscape. This follows SPD advice of using materials that are sympathetic to their location and using darker colours in preference to lighter colours.

As referred to above, the applicant has included a number of key views and 3D views which demonstrate that the building would not be visually prominent as it would benefit from its low-lying location within the site and would be either well-screened by existing trees or would be viewed against other existing development such as the sports hall and adjacent residential development.

In terms of scale and form, an 'L shape' has been chosen to help reduce the size of the building in line with advice in SPD8.

It is considered that the above reasons when taken together form a case for very special circumstances that would clearly outweigh the in-principle harm and additional harm caused and as such would be in compliance with the principles of the NPPF.

Layout of the site - The layout of the new school has been driven by a number of factors, primarily the need for the school to remain open whilst the development takes pace, the required proximity and location of sporting facilities, and the response to the topography and form of the site. These factors, together with the consideration of access, PRoW, aqueduct, ecology and amenity issues, have resulted in the footprint of the building proposed in the southern area of the site.

The building would be sited to the west of the all-weather pitch and would be 3 storey in height, 'L' shaped in design and of a more compact footprint than the existing building which is 2 storey and split level. A mix of grassed and hard surfaced areas around the school building would be provided for break times and informal play, with designated outside dining and external art areas.

Three new MUGA pitches would be provided to the south of the all weather pitch and the new school. This is considered to be the most beneficial location as it would enable easy access from the school building and movement of pupils and would also avoid the area further to the south which is home to Great Crested Newts.

Access to the school would be via the existing vehicular entrance which would lead to an extended car park and continue through to the overflow car park and sports hall in the upper area of the site. A new pedestrian route from Parr Lane would direct pupils and visitors to the front entrance of the school which is located on the north west corner of the building which would face those entering the site.

The PRow which crosses the school site is proposed for retention and would be publicly available at all times apart from requiring temporary closure when this area of the site is developed out. Segregation and safeguarding provisions for the pupils and visitors to the school would be secured by the erection of fencing which would restrict access to the school and its building outside of hours.

Boundary treatment would remain as existing, with a new palisade mesh fence erected along the frontage of the site. Areas around the school building in particular would be landscaped to a specification following approval of a scheme.

On completion of the new school and associated infrastructure, the existing school building would be demolished. It is proposed to grass over and landscape this area and to be maintained as open space.

The proposed layout has been designed to ensure that the new school buildings would not only meet the operational and functional needs of the school but would provide improved teaching facilities, secured access and circulation routes, increase in parking provision and well located sports facilities. It is considered that the proposed layout would maximise the use of the existing site to its full potential and despite the constraints above and below ground, would bring about a betterment to the arrangement of the building and sports provision than currently exists.

As such, the proposals are considered to accord with UDP Policies EN1/2 - Townscape and Built Design, CF1/1 - Location of New Community Facilities, CF2 - Education Land and Buildings and RT2/3 - Education Recreation Facilities.

Design and appearance - Fundamental aims of the scheme was to design out a building not only fit for the practical, functional and sustainable needs of the school, now and for the future, but which also but also presented a modern, contemporary and fresh approach to a site which is need of updating to modern standards.

It is considered this has been achieved by the proposal presented here, which has sought to address the principles of good design and utilise on the opportunity to deliver a high quality scheme.

The new building would have strong facades and clean visual lines and the use of a high quality palette of materials would result in distinguishable and modern elevations. The building would be 'L' shaped, 3 storeys in height with a flat roof. Materials are proposed as dark blue/grey brick elevations which would present a crisp symmetrical facade and the use of aluminium framed windows would reinforce the contemporary approach.

The building would be defined by a featured entrance of bronze metallic cladding to the upper levels, which would not only add interest to the design approach, but would enhance and mark this important element of the building. Fully glazed openings to the staircase and administrative areas would contribute to the context and contemporary approach.

It is therefore considered that the proposed building would offer a well thought out and designed build, both in practical and functional terms and in high quality design and as such

would comply with UDP Policies EN1/2 and CF1/1.

Residential amenity - The nearest residential properties to the new school building would be the flats at Pole Lane Court which are located to the west of the site. Whilst there are no specific guidelines on separation distances between residential and non residential properties, SPD6 provides some guidance in this respect and is used to assess acceptable distances of new builds. Generally speaking, there should be a distance of 20m between habitable room windows, with 3m separation added for every additional storey.

There would be a distance of 32m from the side elevation of the new building to the site boundary and 52m to the flats. The school building would also be located at a lower level than the flats, and therefore separation distances would be comfortably achieved.

The new car park would be located in the same position as the existing, next to the boundary with No 49 Parr Lane and as such no change to the existing situation.

In terms of the dwellings to the north of the site and across Parr Lane to the north west, outlook would be improved in the long term once the school building has been demolished and this area 'made good' to provide grassed open space. The proposed building would be set at the lower site level, which would be screened by landscaping along the western elevation. At a distance of more than 100m away, visual intrusion by the built development would not be significant to warrant concern on the amenity of occupiers of these dwellings.

It is not expected that there would be additional traffic to the site given the school would serve the current in-take of pupils, and whilst there may be scope for expansion of numbers in the future, the proposed development has taken this into consideration in terms of widening and improving the site access and providing enough parking to serve future needs.

It is considered that there would be minimal impact on residential amenity as a result of the proposed re-development of the site and as such would comply with UDP Policies EN1/2, CF1/1 and CF2.

Access - The existing vehicular access off Parr Lane would continue to be used for staff and visitors and would lead to the existing car park at the top of the site which would increase in capacity. The access road would continue into the site to an overflow or additional car park next to the sports hall.

Minor works would be required to the highway and pavement alignment of the northern kerb to provide improved visibility splays and vehicle access.

A new pedestrian access would be created off Parr Lane and would follow the alignment of vehicular route. The path would be to the north of the new school building and would require crossing points which would be formalised by way of identifiable carriageway markings and signage.

The new development proposes relatively minor highway works, given that there would be little change to the current access arrangements. The proposed plans demonstrate that vehicular and pedestrian access could be successfully segregated and managed without detriment to users of the site. The Highway Section has raised no objection subject to conditions, and as such the proposed development is considered to be acceptable and would comply with UDP Policies HT6/1 - Pedestrian and Vehicular Conflict, HT6/2 - Pedestrian/Vehicular Conflict and CF1/1 - Location of New Community Facilities.

During the construction phase, a separate temporary access would be provided off Parr Lane for use by staff, pupils and visitors to safely segregate users of the school from construction traffic. Whilst indicatively shown on a phased programme plan, details of how this would be managed throughout the re-development of the site would be required in the submission of a Construction Traffic Management Plan which would be included as a

condition.

Parking - Whilst it is not anticipated that there would be an increase in staff or pupil numbers in the immediate future, the school have sought to plan ahead by increasing the current parking provision of 48 spaces to 100 spaces. This has been identified based on likely increase in staff numbers in the future to operate the school at full potential, current travel habits and aimed at reducing on-street parking in the near vicinity.

The proposal also includes provision for 104 cycle spaces, which would encourage both pupils and staff to cycle to the school thereby reducing traffic on the roads.

As such, it is considered that the parking arrangements and the parking provision secured for the future would significantly improve on the existing situation. It would be located within an accessible area within the school grounds and not cause disruption to the pedestrian and vehicle movements to and from the site. It is therefore considered that the proposed development would comply with UDP Policies HT2/4 - Car parking and New Development, CF1/1 - Location of New Community Facilities and SPD11 - Parking Standards in Bury.

Transport for Greater Manchester - It is noted that the school's capacity would not increase and the proposals would be unlikely to result in any material changes to the local highway network. A robust Construction Traffic Management Plan should be employed as part of the proposals to minimise any disruption during the construction period and this would be included as a condition.

The site is well located in relation to public transport being situated on Parr Lane, with bus stops available outside the site. In order to maximise the benefit's of the site's sustainable location, it should be ensured that the pedestrian and cycling environment, within and around the site, is designed to be as safe, attractive and convenient as possible, including natural surveillance where possible. this should provide sufficient links to the surrounding pedestrian and cycle networks. It is also important to ensure that adequate in Infrastructure and facilities are provided to encourage staff and pupils to travel by sustainable modes.

The level of parking has been based on a review of the existing staff numbers and is intended to reduce the potential for parking on-street. It is also anticipated that the level of proposed parking would accommodate any increase in staff were the school to operate at full capacity in the future.

TfGM recommends that the existing Travel Plan be updated in accordance with these proposals, with the objective of reducing reliance on the private car, particularly single occupancy use. The Transport Statement confirms that existing bus service arrangements are expected to remain unchanged, including the location on Parr Lane and details of these arrangements for school bus parking and manoeuvring, and pupil safety, should be covered under the Travel Plan.

TfGM have raised no objection in to the proposed development and recommend that the Travel Plan be updated within 6 months of occupation of the new school.

Public footpath - Paragraph 75 of the NPPF states that planning policies should protect and enhance public rights of way and access. There is an existing Public Right of Way (PRoW) which runs straight through the site, between the school buildings and the playing fields, leading to the motorway and the playing fields on the other side.

The PRoW would be retained as part of the new development, albeit requiring a temporary closure during the construction period. As such, any disruption would be for a limited time only and not of any permanence. The footpath would be re-opened once works have been completed.

A fence with lockable gates would be erected across the top of the new building to enable the school to separate this part of the site from public access, out of school hours. This would not hinder the sports hall or all weather pitch available for the public's use as these are located to the north of the site and would remain accessible.

The Footpath Officer has raised no objection to the proposals and as such the development would comply with the principles of the NPPF.

Boundary treatment - There is existing perimeter fencing which already bounds the school site and this would be retained. A 2.4m high paladin mesh type fence is proposed to the front of the site along the back edge of footpath of Parr lane. This type of fencing is prevalent throughout other school sites in the Borough and is what is generally used and recommended, not just for security reasons but in terms of the limited visual impact it has. As such, boundary treatment is considered to be acceptable.

Trees - The siting of the new building would result in relatively minimal impact on grassland and natural habitat, though it is noted that there is proposed habitat replacement next to the MUGA's to the south of the site. The Arboricultural Report identifies that a total of 37 trees would require removal, and one part removal. This includes 1 Category A (high quality), 24 Category B (moderate quality) and others of Category C (low) or U (poor).

The trees would require removal to enable demolition of the existing school building, provision of additional parking and highway improvement works. A tree replacement strategy would be implemented to mitigate for the loss of trees and adequate protective fencing would be installed around trees to be retained. Both these aspects would be a condition of any approval, and together with the requirement to submit a landscaping scheme, also included as a condition, it is considered that the development would be acceptable.

Sports facilities and Recreation Land - The proposal would involve land that is used as a hardstanding sports facility (MUGA) and as such designated as Protected Recreation under policy RT1/1 and RT2/3 - Education Recreation Facilities of the Bury UDP.

Paragraph 74 of the NPPF states that existing open spaces should not be built on unless (i) an assessment shows the land to be surplus to requirements, or (ii) the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location or (iii) the development is for alternative sports provision, the needs for which clearly outweigh the loss.

The proposal is to replace the loss of the MUGA with 3 new multi use games area courts situated to the south of the proposed school and playground and within close proximity of the original tennis courts. Sport England are the statutory consultee with regard to playing field provision and have confirmed that the development satisfies the following requirements:

- The development affects only land incapable of forming, or forming part of, a playing pitch, and does not result in the loss of or inability to make use of any playing pitch, a reduction in the size of the playing areas of any playing pitch or the loss of any other sporting/ancillary facilities on the site.
- The playing field or playing fields, which would be lost as a result of the proposed development, would be replaced by a playing field or playing fields of an equivalent or better quality and of equivalent or better quantity, in a suitable location and subject to equivalent or better management arrangements, prior to the commencement of development.

The 3 proposed pitches would be of equivalent or better quantity and quality as the site area would be equivalent to the existing (2,100 sqm) and would provide sporting benefits that equate to that provided by the existing facility. Court A would provide dual purpose use, and Courts B and C would be fenced to future proof the facilities going forward. The new pitches

are also in a suitable location as they can be accessed directly from the school playground and would not be interrupted by the Public Right of Way which crosses the site to the north.

The existing grassed areas to the south of the proposed pitches are incapable of forming a playing pitch as the area is preserved and protected as a habitat for Great Crested Newts, as set out as part of the development, and these areas are significantly waterlogged and would require substantial drainage improvements to be sufficient for sporting use. There is no community use of the existing MUGA at present and therefore there would be no interruption in availability of pitch provision between the existing and proposed.

In addition to the proposed MUGA's and all weather pitch, the school also benefits from a number of pitches on the other side of the motorway. These, together with the sports hall are used by the community in the evenings and weekends and the school would continue to operate these community use arrangements.

To ensure the equivalent or better qualitative element of both Sport England's policies are met, they would require a condition that prior to the construction of any MUGA, details of the design and layout be submitted for approval. An informative would also be included to advise that the design and layout of the MUGA's should comply with the relevant Technical Design Guidance.

As such, the proposal would comply with Paragraph 74 of the NPPF, UDP Policies RT1/1, RT2/3 and Sport England policy requirements.

The sports provision would also be available for use by the community. The proposal would therefore support UDP Policy CF2.

Air quality - Part of the site is located within an Air Quality Management Area (located next to the M60). Based on the Transport Assessment and Planning Policy Statement, the developer does not consider that the redevelopment of the school would create a long term increase in traffic and therefore does not consider that an air quality assessment is required. However, due to the scale of the development and the presence of sensitive receptors in the area, it was recommended by the Environmental Health Section that a construction phase air quality assessment be carried out. This information has been submitted.

The Air Quality Assessment Report identifies potential receptors who may be affected by the construction of the development, potential generators of pollution and mitigation measures and preventative measures which can be implemented. A complaints procedure action plan is also suggested. These measures would be included as a condition.

Additionally, in line with the principles of Good Practice set out in the Environmental Protection UK Guidance, it is recommended that proposals to mitigate any potential impact on local air quality through the provision of electric vehicle charging points to encourage the use of low emission vehicles are put in place.

Flood risk - The site is in Flood Zone 1 and identified as low risk. A Flood Risk Assessment Report has been submitted which confirms that the risk due to flooding would be low. No comments have been received from the Environment Agency and there would be no flood related conditions necessary for this development in this location.

United Utilities - The Haweswater Aqueduct crosses the site and United Utilities (UU) would not permit development in close proximity to the main, requiring an access strip of no less than 10m, measured 5m either side of the centre line of the pipe. The applicant is aware of this constraint and would carry out works in compliance with UU's guidance. Numerous meetings have taken place between the applicant and UU to discuss the siting and design of the development. The primary risk to the aqueduct would be during the construction. This together with a condition that a Construction Risk Assessment Method Statement (RAMS) for the construction of the proposed development be submitted, would ensure the safe and satisfactory re-development of the site.

Ecology - GMEU have been consulted on the application. The main ecological constraint associated with the development is the proximity to known great crested newt breeding ponds. A license would be required from Natural England. Other ecological issues include bats, nesting birds, invasive species and habitat mitigation, all of which could be mitigated for via condition and or informative.

Great Crested Newts - Great Crested Newts (GCN) have been found in the ponds located within the south west corner of the site. These were mitigation measures for the previous works that resulted in the loss of a significant area of terrestrial habitat (semi improved grassland) when the all-weather pitch and associated amenity grassland was created, which was cumulative with that lost to the cricket club - the GCN population at that time restricted to the one pond near the cricket club. A draft proposal to protect all or most of the existing terrestrial habitat has been put forward, which is supported by GMEU.

A license, however, would be required from Natural England owing to the proximity and scale of the development. A condition has therefore been recommended to this effect.

Bats - No evidence of bats were found and all buildings to be demolished were assessed as having negligible bat roosting potential. One tree was assessed as having low bat roosting potential. An informative has therefore been recommended by GMEU of the Applicant responsibility under the Habitat Regulations.

Nesting birds - Potential bird nesting habitat will be lost. All British birds nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife and Countryside Act 1981, as amended. A condition is therefore recommended to restrict the times of clearance of vegetation.

Invasive species - Two invasive species listed under schedule 9 part 2 of the Wildlife and Countryside Act 1981 (as amended) were found on site, monbetia and a cotoneaster. An informative is recommended to advise the applicant of their responsibilities under this Act should invasive species be disturbed.

Contributing to and Enhancing the Natural Environment - Section 109 of the NPPF states that the planning system should contribute to and enhance the natural and local environment.

The development would result primarily in the loss of hardstanding, amenity grassland, buildings and some trees. There would be some minor impacts on the existing rough grassland. Without mitigation, this would result in some minor impacts on the Natural Environment. GMEU notes from the site layout that an area near the south east corner is proposed as mitigation and that extension of the existing rough grassland and further amenity grassland could be made available along the eastern boundary should more mitigation be required. GMEU also suggest that a five year management plan be produced for the terrestrial habitat associated with the Great Crested Newt ponds as the movement of the school to a location in closer proximity to the GCN ponds will increase the risk of indirect negative impacts.

GMEU recommend therefore that a condition to submit a landscape and environmental management plan be submitted for approval and implementation.

Security - A Crime Impact Statement has been submitted and the Design for Security Team consulted on the proposed development. No objection in principle. The proposed development would improve security compared to the existing school building. Recommendations and implementation of the physical security specifications where feasible, of the Crime Impact Statement would be recommended as an informative to the applicant.

Community consultation - The applicant carried out comprehensive public consultation

with the local community and stakeholders, recognising Paragraph 188 of the NPPF which states that *"Early engagement has significant potential to improve the efficiency and effectiveness of the planning system for all parties. Good quality pre application discussion enables better coordination between public and private resources and outcomes for the community"*.

The applicant arranged an information session with the Whitefield and Unsworth Township Forum and local councillors. A session was also held for staff, Governors and Trustees. Following this, a public exhibition was held at the school for parent, pupil and public drop-in sessions. The event was attended by 52 people and well received, given the responses tabled in the Planning Statement. In addition, the applicant carried out advertising in the form of leaflet deliveries to approximately 600 houses, posted leaflets and posters in local shops and businesses and set up a page on the school website.

From the evidence presented by the applicant, it is considered that an extensive community consultation has been carried out by the applicant. No objections or responses have been received to the application.

Conclusion.

- The scheme is to demolish a nationally highlighted poor quality building with currently 900 pupils and replacement with a new school building.
- The existing building is not in the Green Belt, but the chosen site is.
- It is inappropriate development and therefore Very Special Circumstances are required. In consideration of Green Belt Policies, whilst there would be harm, due to the very special needs at this site and wider material considerations, it is considered that Very Special Circumstances have been proven.
- The demolition of the existing building would also result in the trade off of open land, which maintains openness and views across the site.
- The proposed siting, whilst in Green Belt, has been assessed and it is considered that there is a reasonable case that the allocation of this Green Belt land is not a strong one and that the case for Very Special Circumstances put forward, is made.
- The scheme has sought to work around the site constraints appropriately and would provide enhancement for sport and ecology.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered -
CHS-AHR-00-XX-DR-L :- 90-001 D2; 90-002 D2 P4; 90-003 D2 P2; 90-009 D2 P1; 90-021 D2 P1; 90-022 D2 P1; 90-023 D2; 90-201 D2 P3; 90-202 D2 P1; 90-005 D2 P2.
CHS-CUN-SO-XX-DR-C-52-000 D2 P03.
CHS-AHR-B1-00-DR-A :- 20-000 P1; 20-001 P1; 20-002 P1; 27-000 P1; 20-100 P1; 20-101 P1; 20-200 P1

TCXX(90)4002

Transport Statement by Cundall ref RPT-TC-003 dated 11/5/217

School Travel Plan Framework by Cundall ref RPT-TC-2017

Environmental Noise Report 1014541-RPT-AS001 dated 10/5/2017

Preliminary Ecological Appraisal by Arcadis version 3 May 2017

Ecological Assessment by captita 11 May 2017

Great Crested Newt Survey and Report and Assessment - Interim 11 May 2017

Arboricultural Impact Assessment Report by Arcadis May 2017

Tree Survey Report October 2016

Flood Risk assessment by Cundall 1014541-RPT - CL -0001 Rev A 10/5/17

Crime Impact Statement Version B 31st May 2017 ref 2017/0290/CIS/01

Air Quality Assessment and Management Plan GallifordTry plc

The development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. No development shall commence unless and until:-

- A copy of the Materials Management Plan and the signed declaration for the re-use and importation of soils has been submitted to, and approved by, the Local planning Authority.

Reason. The scheme does not provide full details of the proposed implementation of the agreed remediation strategy, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and; The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. The development is likely to cause harm to Great Crested Newts as identified in the Capita Interim Great Crested Newt Survey Ref CS/091107 and shall not in any circumstances commence unless and until the Local Planning Authority has been provided with either:

- a license issued by Natural England pursuant to Regulation 53, of the Conservation of Habitats and Species Regulations 2010 authorising the specified activity/development go ahead: or
- a statement in writing from the relevant licensing body to the effect that it does not consider that the specified development will require a license.

Reason. Information not submitted at application stage. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. No works to trees or shrubs shall occur or demolition commence between the 1st March and 31st August inclusive in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided and agreed by the Local Planning Authority that no active bird nests are present.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

9. No development shall commence unless and until a landscape and environmental management plan has been submitted to and approved in writing by the Local Planning Authority. The content of the plan should include:

- mitigation for loss of trees and shrub;
- mitigation for loss of bird nesting habitat;
- mitigation for loss of grassland habitat for Great Crested Newts;
- details of measures to prevent any significant increase in human disturbance to the Great Crested Newt mitigation area;
- a five year management and maintenance plan for existing and proposed grassland and wetland habitats;
- details of the individual/organisation responsible for implementing the works.

The approved plan shall be implemented in accordance with the approved details.

Reason. Information not submitted at application stage. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design, EN8/2 – Woodland and Tree Planting, EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

10. No development shall commence unless and until details of surface water drainage proposals have been submitted to and approved by the Local Planning Authority. The scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance, to include permeable hardstanding surfaces, and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) and in line with preliminary drainage plans and Flood Risk Assessment submitted with the application. This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Assessments should include comparisons of existing and proposed surface water flows to the watercourse. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained. Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
11. The 3 new MUGA pitches for the development hereby approved shall be constructed and made available for use prior to the first occupation of the development hereby approved. Reason. To ensure adequate provision of sporting facilities pursuant to RT2/3 - Education Recreation Facilities and chapter 8 - Promoting healthy communities of the NPPF.
12. The existing sports hall, all-weather sports pitch and the playing pitches to the east of the motorway shall remain available for sports use throughout the construction of the development hereby approved. Reason: To ensure continuity of sporting use pursuant to chapter 8 - Promoting healthy communities of the NPPF and RT2/3 - Education Recreation Facilities.
13. There shall be no commencement of the construction if the Multi Use Games Areas hereby approved, unless and until details of the design and layout of the Multi Use Games Areas have been submitted to and approved in writing by the Local Planning Authority, after consultation with Sport England. Details shall include cross sections, materials and dimensions. The Multi Use Games Areas shall only be constructed in accordance with the approved details. The Multi use Games areas shall thereafter be maintained as approved and available for use at all times. Reason. Insufficient information submitted at application stage. To ensure the development is fit for purpose and sustainable and pursuant to Paragraph 74, chapter 8 - Promoting healthy communities of the NPPF and RT2/3 - Education Recreation Facilities of the Bury Unitary Development Plan.
14. The development hereby approved shall be carried out in accordance with the mitigation measures of the Air Quality Assessment and Management Plan by GallifordTry plc. Reason. To protect the amenity of users and visitors to the site and to ensure the satisfactory development of the site in terms of human health pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment and Unitary Development Plan Policy EN7/1 - Atmospheric Pollution.
15. The development hereby approved shall be carried out in accordance with the recommended Tree Protection Measures of the Arboricultural Impact Assessment Report by ARCADIS dated May 2017. All trees to be retained on site shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard and the Arboricultural Impact

Assessment Report are implemented and all measures required shall remain in situ until the development has been completed.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design, EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 11 - Conserving and enhancing the natural environment of the NPPF.

16. Within 6 month of the occupation of the new school hereby approved, an updated Travel Plan shall be submitted to and approved by the Local Planning Authority. The approved Travel Plan thereafter shall thereafter be implemented. Should there be any further development of the site to increase capacity, the Travel Plan shall be further updated to reflect the uplift in potential users of the site.
Reason. To improve and promote sustainable travel options pursuant to chapter 4 - Promoting sustainable transport of the NPPF.
17. No development shall commence unless and until a Construction Risk Assessment Method Statement (RAMS) for the construction of the proposed development, has been submitted to and approved by the Local Planning Authority. The statement shall outline the potential impacts from all construction activities on infrastructure that crosses the site and identify mitigation measures to protect and prevent any damage to this infrastructure. The development shall thereafter be implemented in accordance with the approved RAMS.
Reason. Information not submitted at application stage. To ensure the safe and satisfactory and construction and form of the development and to afford appropriate protection of infrastructure that crosses the site, pursuant to Bury Unitary Development Plan Policy EN7/4 - Groundwater protection and chapter 11 - Conserving and enhancing the natural environment.
18. All trees to be retained on site shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard are implemented and all measures required shall remain in situ until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
19. On the commencement of development, details of a scheme of external lighting in association with the development hereby approved, including lighting spread, with details of levels of luminance, position, types, direction and size and technical summary, shall be submitted to and approved by the Local Planning Authority. The approved lighting scheme only shall thereafter be implemented.
Reason. In the interests of residential amenity and to ensure no harm is caused to a Protected Species pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value and EN7 - Pollution Control.
20. Materials for the development hereby approved shall comprise the following -
Brick - Dark blue/grey
Windows - Aluminium PPC
and as illustrated on approved plans CHS-AHR-B1-ZZ-DR-A-20-100 P1 and 101 P1
Only the approved materials shall be used for the construction of the development.
Reason. In the interests of visual amenity and good design and to ensure a satisfactory development pursuant to UDP Policy EN1/1 - Visual Amenity, EN1/2 - Townscape and Built Design and CF1/1 - Location of New Community Facilities.
21. No development shall commence unless and until full details of the proposed access alterations at the junction of the existing site access with Parr Lane shown indicatively on approved plan reference CHS-AHR-00-XX-DR-L-90-002 Revision

P4, including the provision of tactile paving on both sides of the access, have been submitted to and approved by the Local Planning Authority. The details subsequently approved shall be implemented to an agreed programme.

Reason. To secure the satisfactory development of the site in terms of highway safety, ensure good highway design and maintain the integrity of the adopted highway pursuant to Bury Unitary Development Plan Policies RT6/2 - Pedestrian/Vehicular Conflict, CF1/1 - Location of New Community Facilities and EN1/2 - Townscape and Built Design

22. On commencement of development, details of the bronze metallic cladding panels to the entrance of the building shall be submitted for approval by the Local Planning Authority. The cladding shall be of a type that would not result in glare. The approved material only shall thereafter be implemented in the development.
Reason. To protect the visual amenity of nearby occupants and safety of users of the road systems in the locality, pursuant to UDP Policies EN1/2 - Townscape and Built Design, HT2 - Highway Network and CF1/1 - Location of New Community Facilities.
23. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and agreed in writing with the Local Planning Authority and shall confirm/provide the following:
- Hours of operation in relation to number of vehicle movements onto/from Parr Lane;
 - Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site;
 - Parking on site of operatives' and construction/demolition vehicles together with storage on site of construction/demolition materials;
 - Provision of a temporary car park access onto Parr Lane at a position and to a specification to be agreed, including full details of the removal of the temporary access and reinstatement of the footway following completion of the development;
 - Provision of a temporary car park of sufficient size and layout to accommodate the number of existing car parking spaces lost as a result of the construction of the proposed development, in a material that will not lead to the spreading of loose material and with sufficient drainage arrangements that will prevent the discharge of water onto the adopted highway;
 - Temporary closure of Public Right of Way No. 101, Bury, including all measures required at the interfaces with the closed section of the right of way
- The approved plan shall be adhered to throughout the construction/demolition periods and the measures shall be retained and facilities used for the intended purpose for the duration of the construction/demolition periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of construction/demolition materials.
- Reason. To mitigate the impact of the construction/demolition traffic generated by the proposed development on the adjacent residential streets and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction/demolition in the interests of highway safety pursuant to Bury Unitary Development Plan Policies HT6/2 - Pedestrian/Vehicular Conflict, HT2/4 - Car Parking and New Development and EN1/2 - Townscape and Built Design.
24. No development shall commence unless and until details have been submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details only shall be implemented and maintained thereafter during the period of construction/demolition.

Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT4 - New Development.

25. The turning facilities indicated on approved plan reference CHS-AHR-00-XX-DR-L-90-002 Revision P4 shall be provided before the development is brought into use and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies HT6/2 - Pedestrian/Vehicular Conflict, HT2/4 - Car Parking and New Development and EN1/2 - Townscape and Built Design.
26. The car parking indicated on approved plan reference CHS-AHR-00-XX-DR-L-90-002 Revision P4 shall be surfaced, demarcated and made available for use and to the approval of the Local Planning Authority prior to the development hereby approved being brought into use and thereafter maintained at all times
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policies HT2/4 - Car Parking and New Development, EN1/2 - Townscape and Built Design and CF1/1 - Location of New Community Facilities of the Bury Unitary Development Plan.
27. No development shall commence unless and until the developer has agreed with the Local Planning Authority in consultation with the Highways Agency, the detailed location, design, technical approval, maintenance strategy, construction methods (including risk assessments) of any ground works within 67 metres of the trunk road boundary.
Reason - To ensure that the trunk road network continues to fulfil its purpose as a national system of routes for the through traffic, in accordance with section 10(2) of the Highways Act and maintaining the safety of traffic on the road and HT2 - Highway Network of the Bury Unitary Development Plan.
28. No drainage from the proposed development shall run off into the motorway drainage system, nor shall any ground works adversely affect the motorway drainage.
Reason - To ensure that the trunk road network continues to fulfil its purpose as a national system of routes for the through traffic, in accordance with section 10(2) of the Highways Act and maintaining the safety of traffic on the road and pursuant to policy HT2 - Highway network of the Bury Unitary Development Plan

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

61515 Castlebrook High School

Aerial photograph - 2016



Production Date: 09 Aug 2017

Scale 1500

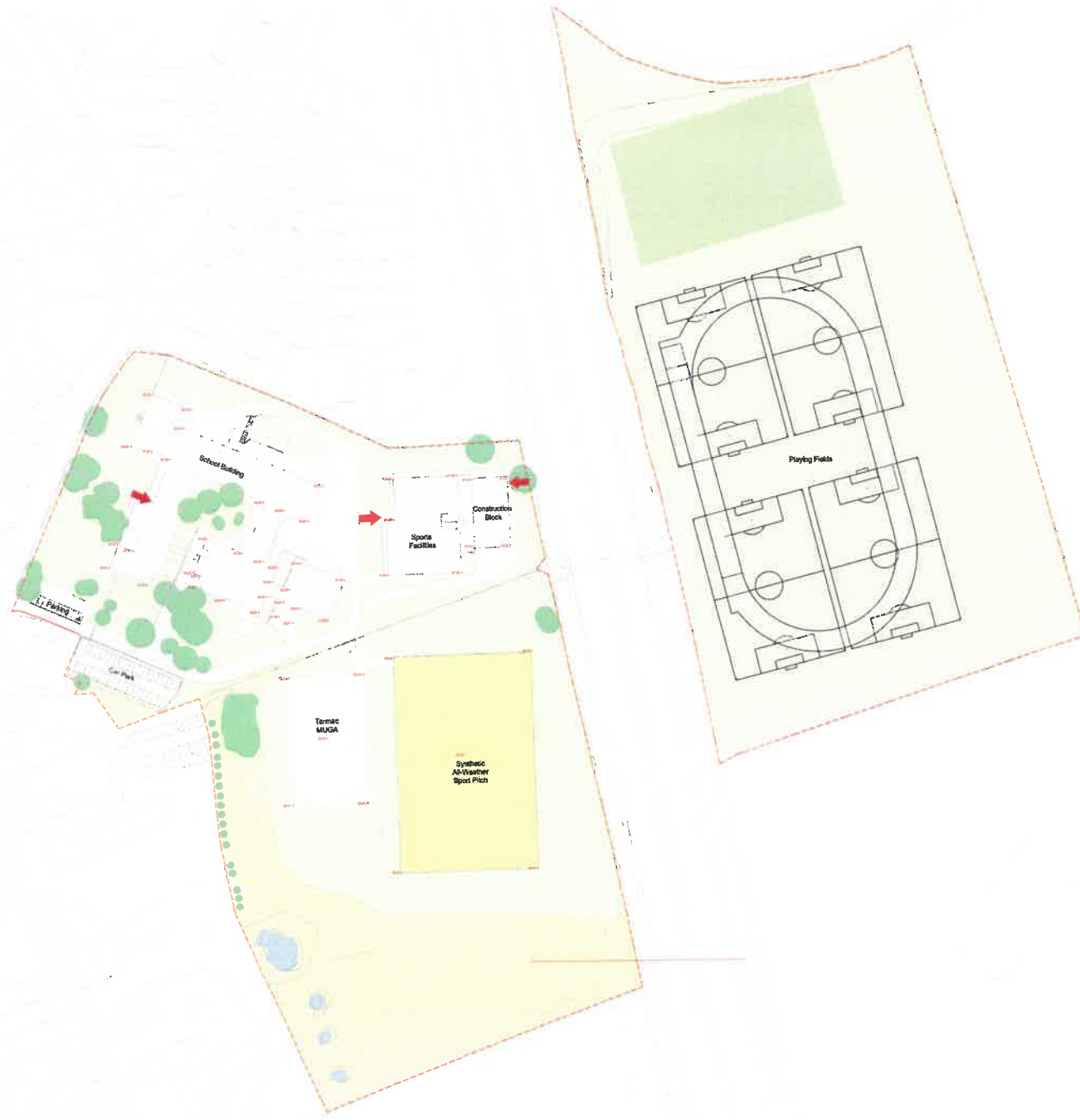
when printed at A4

© Bury Council 2017

WML Update 18-07-2017

© Crown Copyright and Database Rights 2017. OS 100023063.

Notes



Legend

Hardworks

- Concrete Block Paving
- Tarmacadam
- Existing MUGA Retained
- Habitat Survey Area
- Amenity Grass

Miscellaneous

- Site Boundary
- Right Of Way (ROW)
- Entrance Points

P2 Scale Bar Amended 25.07.17 JT MR
P1 Issued for CP 13.07.17 JT MR
A Spot heights, parking and access points added, plan colored 25.07.17 JT MR



Client name
Galliford Try

Project
Castlebrook High School

Assembly
Site Layout as Existing



Project number	2016.01182.000	Scale	1:1000	Drawn by	@A1
Drawing number	CHS-AHR-00-XX-DR-L-80-003	Date of issue	02	Rev	P2



- ### Legend
- Hardworks**
 - Concrete Block Paving
 - Tarmacadam
 - Reinforced Grass
 - Existing MUGA Retained
 - Softworks**
 - Specimen Tree Planting
 - Existing Scrub / Woodland Planting
 - Amenity Grass
 - Habitat Survey Area
 - Shrub Planting
 - Hedge Planting
 - Existing Trees**
 - Existing Tree / Vegetation Protected & Retained
 - Existing Tree / Vegetation Removed
 - Existing Ponds
 - Fencing**
 - Existing Fence
 - 2.4m High Wadimesh Fencing Colour: Black
 - 3m High Ballstop Fence
 - Gates to Match Fence Type
 - Miscellaneous**
 - Site Boundary
 - Right Of Way (ROW) including Highways Act 1960, 1980
 - Utility Easements
 - Entrances Points

- P4 Fence obstructing PRW removed 03.06.17 JT MR
- P3 Scale bar amended 25.07.17 JT MR
- P2 Ballstop fence added, released for CP 12.07.17 JT MR
- P1 Issued for CP 23.06.17 AP MR
- H Alternative access route removed 22.08.17 AP MR
- G Substation location altered 20.06.17 JT MR
- F Lower MUGA courts added 18.05.17 JT MR
- E Spot Levels Added 18.05.17 JT MR
- D ROW shown across pitches 11.05.17 JT MR
- C 3 no. parking spaces added to the east of the main vehicle access road & Tree removal updated. 08.06.17 JT MR
- B New building ground floor plan + MUGA altered + Habitat replacement area 05.05.17 JT MR
- A ROW and fencing revised 21.04.17 AP MR

Galliford Try

Legend

Existing MUGA Location



Galliford Try

project
Castlebrook High School

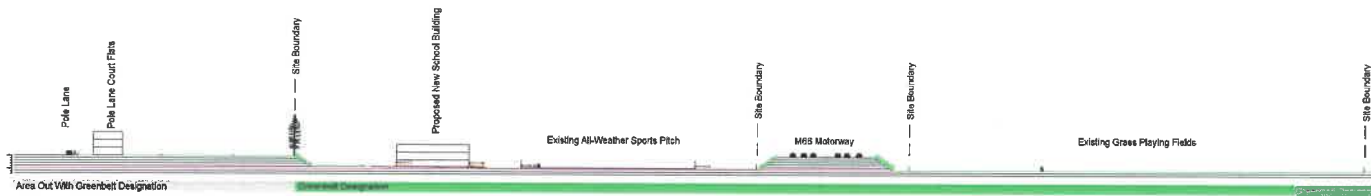
drawing
Existing MUGA Location

print number
2015.01182.000
drawing number
CHS-AHR-06-XX-DR-L-90-023

scale
1:500
sheet
D2

date
@A1





Section AA
Scale 1:1000 @A1

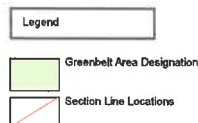


Section BB
Scale 1:1000 @A1

Note:
At this scale, the height differences between existing and proposed levels are almost imperceptible (refer to proposed school building for this level change).



Site Section Locations
NTS



02	Issued for CP	13/07/17	JT	MR
01	Spot heights added	16/05/17	JT	MR

Rev.	Description	Date	By	App by.
------	-------------	------	----	---------

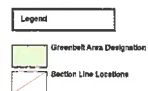
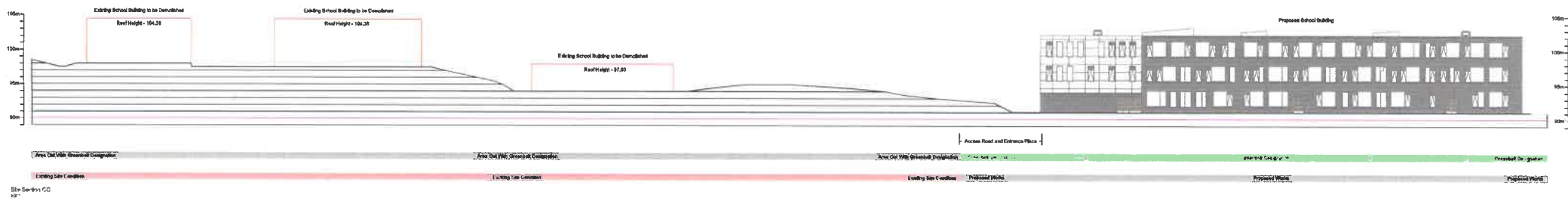


Galliford Try

project
Castlebrook High School

drawings
Existing and Proposed Site Sections

project number 2016.01182.000	scale 1:1000	sheet @A1
drawing name CHS-AHR-00-XX-DR-L-90-201	drawn DZ	rev. 02





Department Legend

- Administration
- Class Teaching
- Large Spaces
- Learning Resource Area
- Stairs
- Storage

0. Ground Floor - GA Plan

1 : 200

PLANNING ISSUE

Project	Planning Submission	19.06.17	TS	CP
original by	Description	Date	Drawn by	Checked by
TS		08.05.17	CP	
<div>   </div>				
<div>   </div>				
<div>  </div>				
client name Galliford Try				
project Castlebrook High School				
drawing Ground Floor Plan				
project number 2016.01146.000		scale 1 : 200	sheet @A1	
drawing number CHS-AHR-B1-00-DR-A-20-000		revision P1	date -	



1. First Floor - GA Plan
1 : 200

PLANNING ISSUE

Item	Description	Date	TS	CP
TS	10.05.17	08.05.17	CP	
TS	10.05.17	08.05.17	CP	
<div> </div>				
<div> </div>				
client name	Galliford Try			
project	Castlebrook High School			
drawing	First Floor Plan			
project number	2015.01148.000	scale	1 : 200	@A1
drawing number	CHS-AHR-B1-01-DR-A-20-001	issue number	P1	rev



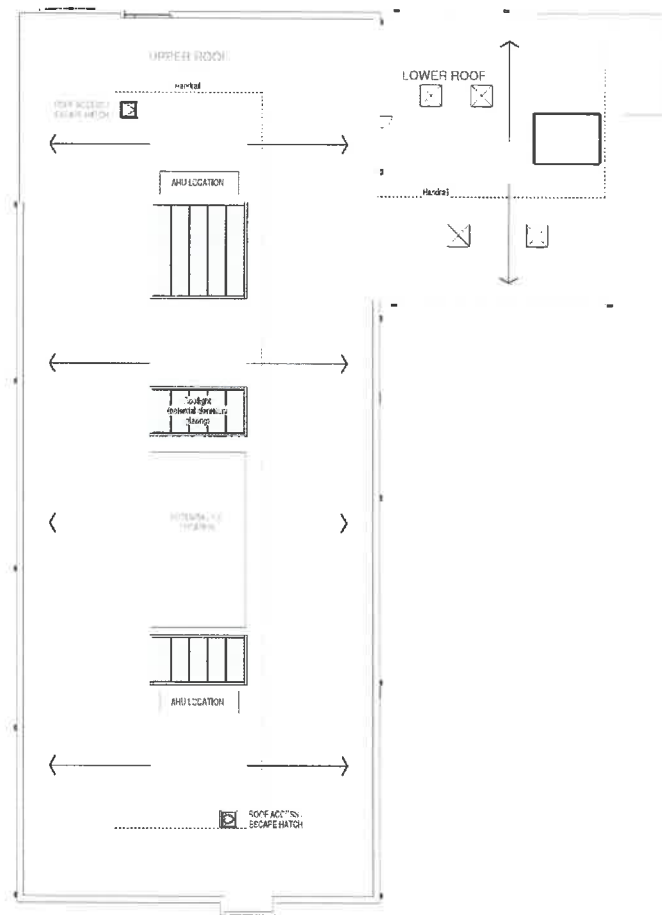
Department Legend

Blue	Administration
Orange	Class Teaching
White	Storage
Purple	Corridor

2. Second Floor - GA Plan
1 : 200

PLANNING ISSUE

Plan	Submission	10.06.17	TS	CP
TS	Description	Date	TS	CP
TS	TS	08.05.17	CP	CP
<div> <div>Education Funding Agency</div> <div>Galliford Try</div> <div>CASTLEBROOK HIGH SCHOOL</div> </div>				
<div> <div>AHR</div> <div>CUNDALL</div> <div>novatia</div> </div>				
client name Galliford Try				
project Castlebrook High School				
drawing Second Floor Plan				
project number 2016.01146.000		scale 1 : 200	sheet @A1	
drawing number CHS-AHR-B1-02-DR-A-20-002		issue status P1	rev •	



1. Roof - GA Plan
1 : 200

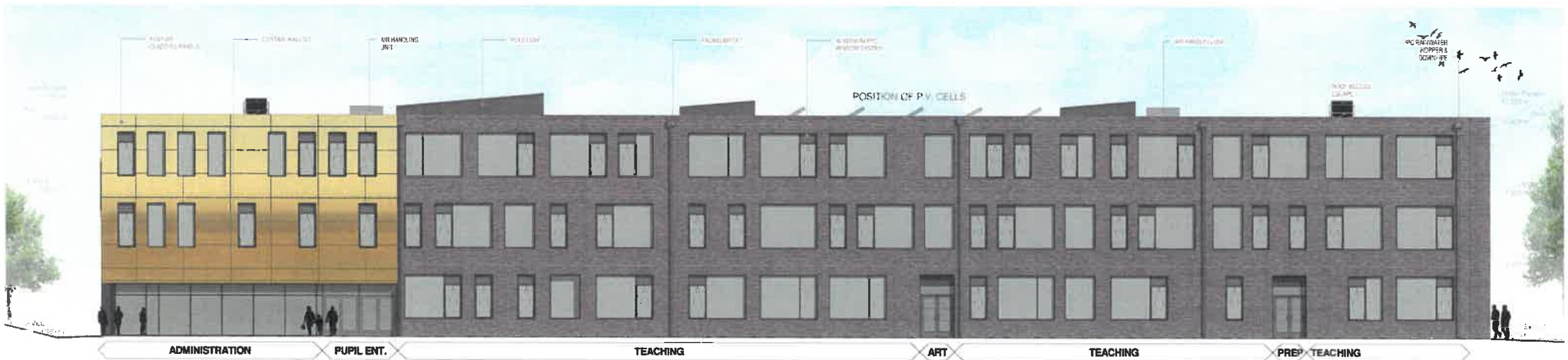
PLANNING ISSUE

Plan	Submission	10.05.17	TS	GP
originality	TS	08.05.17	GP	GP
client name	Galliford Try			
project	Castlebrook High School			
drawing	Roof Plan			
project number	2016.01148.000	scale	1 : 200	@A1
drawing number	CHS-AHR-B1-03-DR-A-27-000	revision	P1	-



1. East Elevation

1 : 100

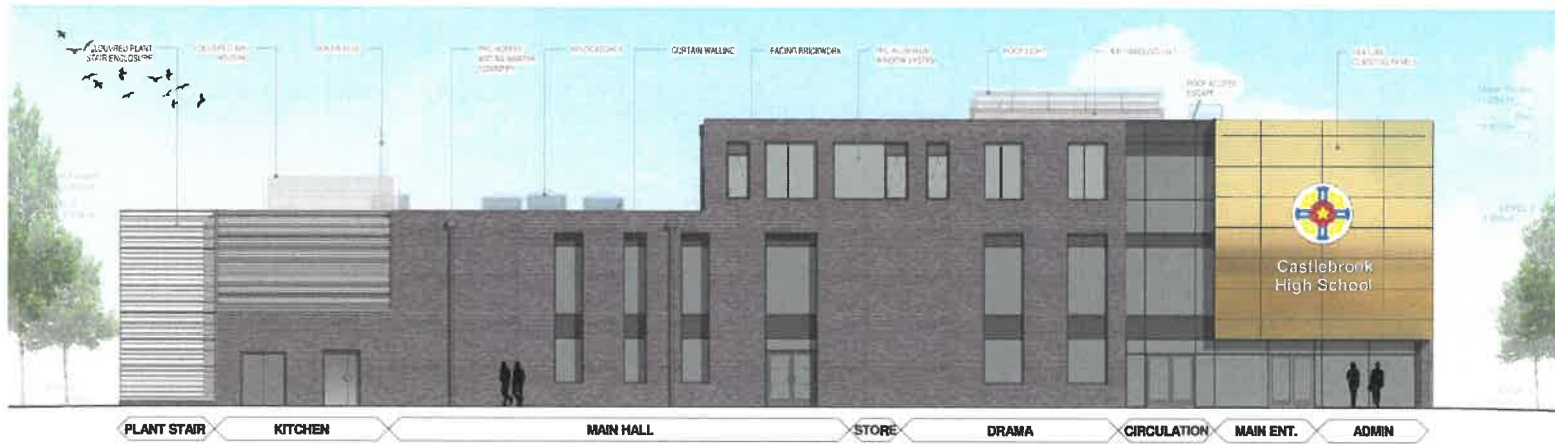


2. West Elevation

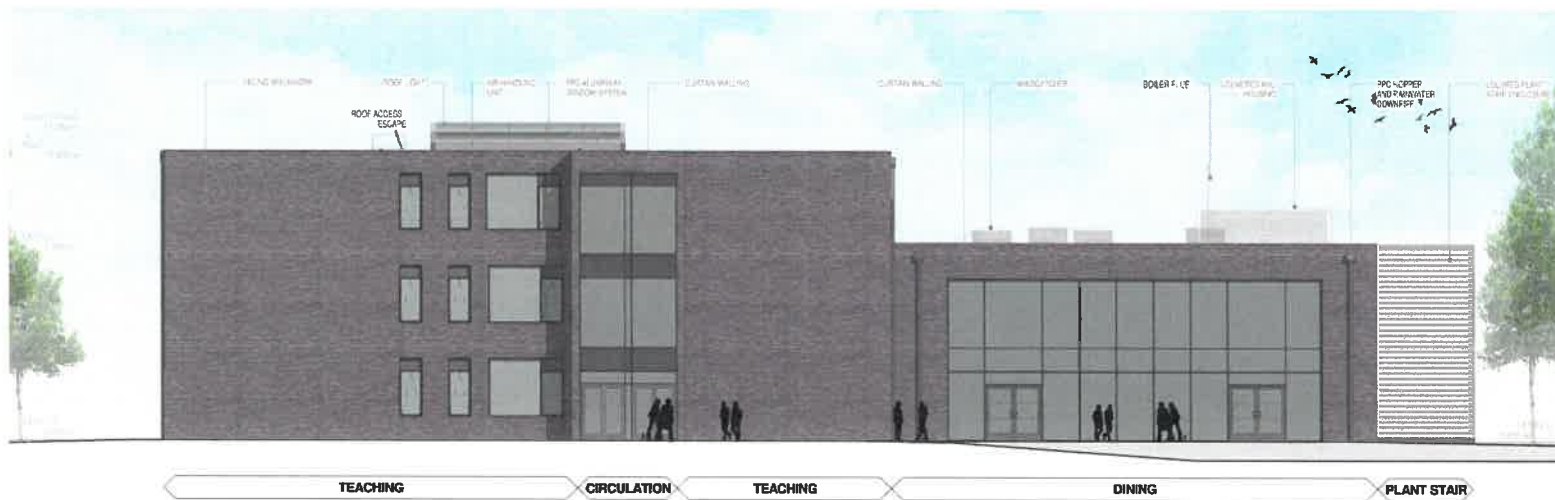
1 : 100

Planning Submission		08/05/17	TS	CP	
original by	TS	Date received	08.05.17	Date approved by	CP
Education Funding Agency		GallifordTry			
AHR		CASTLEBROOK HIGH SCHOOL			
Galliford Try		CUNDALL novatia			
Galliford Try		Castlebrook High School			
Elevations - Sheet 1					
project number		2016.01148.000		scale	1 : 100
drawing number		CHS-AHR-B1-ZZ-DR-A-20-100		revision	P1
				sheet	@A1

PLANNING ISSUE



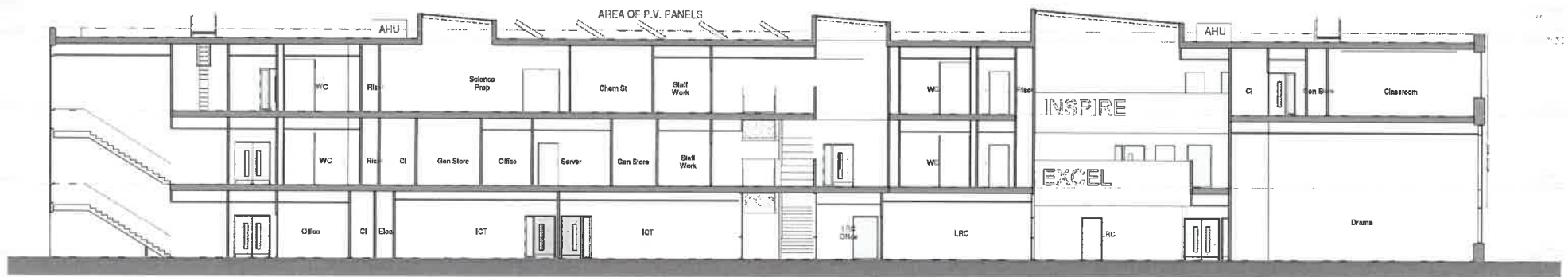
1. North Elevation
1 : 100



2. South Elevation
1 : 100

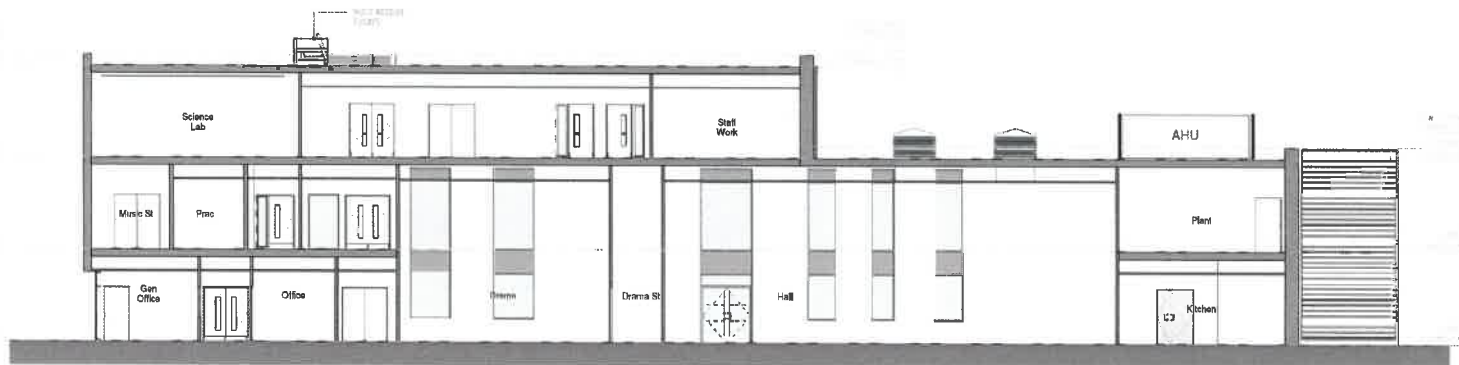
PLANNING ISSUE

Planning Submission		10.06.17	TS : CP
Drawn by	TS	Date created	08.05.17
Designed by	TS	Reviewed by	CP
			
			
Client name			
Galliford Try			
Project			
Castlebrook High School			
Drawing			
Elevations - Sheet 2			
Project number		scale	
2018.01146.000		1 : 100 @A1	
Drawing number		Sheet number	
CHS-AHR-B1-ZZ-DR-A-20-101		P1	
		Client reference	
		@A1	



1. North-South Section

1:100



2. East-West Section

1:100

PLANNING ISSUE

Planning Submission		10.06.17	To	CP
Rev	Description	Date	By	Approved by
original by		08.05.17		CP
TS				
Client name Galliford Try				
Project Castlebrook High School				
Drawing Building Sections				
Project number 2016.01146.000		Scale As indicated @A1		
Drawing number CHS-AHR-B1-ZZ-DR-A-20-200		Revision P1		





Image Location



Image 1



Image 2



Image 3



Image 4



Image 5

PLANNING ISSUE

Planning Submission		10.05.17	TS	CP
file	description	date created	checked by	approved by
original by	TS	08.05.17	CP	CP

Education Funding Agency

GallifordTry

AHR

CUNDALL

novatia

client name

Galliford Try

project

Castlebrook High School

drawing

3D Views

project number	scale
2016.01146.000	NTS @A1
drawing number	issue history
CHS-AHR-SO-XX-DR-A-98-002	P1

Ward: North Manor

Item 06

Applicant: Sunnywood Estates

Location: The Island, Railway Street, Summerseat, Ramsbottom, Bury, BL9 5QJ

Proposal: Change of house type for 4 no. semi-detached dwellings (previously approved under application ref: 58230)

Application Ref: 61564/Full

Target Date: 25/07/2017

Recommendation: Approve with Conditions

Description

The application site comprises a piece of land which has been partly developed out for residential purposes. It is located in the Green Belt and also allocated in the Bury UDP as a River Valley, Special Landscape Area and Wildlife Link and Corridor. Land to rear of the site is designated as Informal Recreation Provision pursuant to policy RT3/2 and is directly adjacent but just outside the Summerseat Conservation Area.

The site is wholly within Flood Zone 2 and partly Flood Zone 3.

Known as 'The Island' the site is accessed across a Bridge over the River Irwell from Summerseat village. The surrounding land is washed over as Green Belt, with the nearest existing residential properties to the south fronting Railway Street.

Planning history background - The Island previously accommodated a print and dye works and sewerage works. Consent was granted in 2006 to convert the dye works mill to 4 No. residential properties and erect 2 new detached dwellings. The majority of the conversion works have been carried out, but not completed and the 2 new dwellings have been fully constructed and are occupied. Since then, the site has been abandoned by the original developer and the conversion started to fall into a state of disrepair.

The site has now been taken on by another developer who is seeking to complete the development. This resulted in a planning application (ref 58230) which comprises 3 elements -

- amendments to the design and layout of the mill conversion to facilitate its completion,
- retrospective consent to regularise the design and layout of the 2 detached dwellings (which had not been built in accordance with approved plans), and
- the erection of 4 new dwellings (2 x pair of semi-detached houses) on land in the northern part of the site. This was granted permission in September 2015.

Following this permission, consent was granted for a non material amendment (ref 59643) for minor design and position changes to the windows and doors in the 4 semi detached dwellings and changes to the composition of materials on the external facades. Finished floor levels were to be set at 104.25 AOD as recommended by the Environment Agency. Building works have yet to commence on these houses. Building works have yet to commence on the semi detached dwellings.

This application seeks a change of house type for the 4 No. semi -detached dwellings which were previously approved under application reference 58230. The revisions proposed comprise:

- design changes to show a set back and reduction in height to the side of each property;
- alterations to roof pitch detailing;
- amendments to window designs and position;

- stepped access to the main entrance and ground floor living accommodation;
- re-configuration of the internal layout;
- raised terrace/patio area at the rear;
- ramped access;
- change to external materials

The reconfiguration of the accommodation and the amended positions of the garages, driveways and front gardens would also result in minor modifications to the layout of the courtyard parking area to facilitate access to each of the dwellings and provide 6 additional parking spaces for the occupiers and visitors.

Relevant Planning History

59643 - Non-material amendment following grant of planning permission 58230 for erection of four new houses, change of house types for two existing detached properties on site and amended house types for four properties in mill with amended curtilage:

Amendments to the elevation and levels of the proposed semi-detached houses. Minor changes to the front elevation of the dwellings with the main changes on the rear elevation; ground floor level to be 104.25m AOD. - Approve with Conditions 18/02/2016

16/04/19 - Untidy land - 07/10/2016

58230 - Erection of four houses, change of house types for two existing detached properties on site and amended house types for four properties in mill with amended curtilage - Approved 2/9/2015

47871 - Erection of 6 detached garages - Refused 5/6/2007

46209 - Demolition of 1 detached and 1 pair of semi detached dwellings; erection of 2 No. detached dwellings - Approved 31/10/2006

44192 - Part demolition and conversion of existing building into 4 dwellings (resubmission) - 25/5/2005

43632 - Part demolition and conversion of existing building into 4 dwellings; detached garages - Refused 30/12/2004.

Publicity

15 letters sent on 30/5/2017 to Nos 102, 110-114, 116, 118, 120 Railway street; Summerseat Village Community; Peel Hall, Peel Hall Road; 2, 3 The Island, 11 North View. Site notice posted 31/5/2017.

One letter of objection received from No 11 North View which raises the following issues:

- The development does not address the loss of Flood Plain and with this application having a larger footprint than the previous application, the situation is worse.
- The Flood Risk Assessment does not address, in any way, the flood event of Dec. 2015 and does not contain any specific flood levels which I would have thought were essential for a development this close to a major river. It also contains a number of inaccuracies.
- The documents also elude to the fact that the two existing houses on the site were newly constructed, there are in fact rebuilds of houses which were part of the previous industrial development.
- I am still of an opinion that the application is outside the boundary of previous industrial development. Plus the gardens are shown going down to the banks of the river which will mean the loss of this important ecological strip, and no doubt, the removal of more trees

Revised plans received to show increase to the proposed finished floor levels, relocation of the ramped access to the side; rear and site boundary details.

The objector was re-notified by email on 28th July 2017 of the revised plans.

The objector has been informed of the Planning Control Committee meeting.

Consultations

Traffic Management Section - No objection subject to conditions.

Drainage Section - No objections subject to condition.

Environmental Health Contaminated Land/ Air Quality - No objection subject to conditions.

Environment Agency - Finished floor levels now set as recommendation of 10th July 2017. Therefore no objection.

Greater Manchester Ecology Unit - No objection

Fire Protection Dept Bury Fire Station (Part B) - No response received. Conditions to be transferred from approved application 58230.

Unitary Development Plan and Policies

OL1	Green Belt
EN2/2	Conservation Area Control
EN2/1	Character of Conservation Areas
OL5/2	Development in River Valleys
EN6/4	Wildlife Links and Corridors
EN9/1	Special Landscape Areas
RT3/2	Additional Provision for Recreation in the Countryside
OL1/2	New Buildings in the Green Belt
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The principle of the development of the site for residential purposes has been established by the previous grants of planning permission (see history above). There have been no subsequent changes to National or Local Planning Policy which would require the principle of the development to be re-visited and there are no issues in this respect.

Proposed external alterations - The dwellings would be semi detached and 2 storey in height, as previously approved, but now proposed to be elevated above the ground floor by 1.5m. Canopied entrances would be set centrally within the frontage of the dwellings accessed by a set of steps with a ramped access provided at the side. The garages would be located on the side of each property at ground floor level and would be slightly set back from the main front elevation.

Windows would be timber framed and symmetrically positioned and proportionate within the facades of the dwellings, with brickwork arching detail above. At the rear, modest openings and patio doors would overlook the private garden areas.

Elevations would be brick facing, proposed as Windmill Orange Multi brick with part render and roof tiles of a grey slate appearance. Artsone heads and cills to windows and band coursing would add interest and detail. It is considered that the design and mix of materials would result in well presented and quality accommodation.

As such, the proposed change of house type is considered to be acceptable and appropriate within the context of the existing development and would respect the character of the Green Belt and Special Landscape Area pursuant to UDP Policies EN1/1, EN9/1 and the principles of the NPPF.

The development is not within the Summerseat Conservation Area but the southern boundary of the site directly abuts the boundary to the Conservation Area. The development is within a self contained site and the proposed dwellings would be further set back within the northern corner of the site.

As an 'island site' the development would not be as readily visible from the surrounding areas, despite being elevated to accommodate the required FFL's, the dwellings would not appear to be prominent builds when viewed from outside the site.

The development would aid in the regeneration and visual improvement to the site which has laid derelict. The dwellings would be modest in design and appearance and it is considered that the visual qualities of the conservation area would not be compromised by the change to the housetypes. As such, the proposed development is considered to preserve the character of the adjacent Summerseat Conservation Area and comply with UDP Policies EN2/1 and EN2/2.

Layout - The previous scheme proposed an 'L' shaped layout with the front elevations of 2 properties just set slightly forward of the building line of the mill conversion and the remaining 2 units parallel to the northern boundary. This would remain unchanged. There would be a slight alteration to the hardstanding/courtyard area in front of the dwellings, which is due to the re-positioning of the garages and driveways to the side of each property.

The additional parking spaces would be provided to the edge of the courtyard on stone paving to the east and south.

As such, the amendments to the layout would be relatively minor in comparison to the previously approved scheme and are considered to be acceptable and comply with UDP Policies OL1/2, OL5/2, EN9/1, H2/1 and H2/2 and the principles of the NPPF.

Access and parking - The development would be accessed from Railway Street via a bridge over the River Irwell. The access road into The Island is substantially completed and extends to the northern area of the site, stopping just short of the application area.

It is proposed to create a hardstanding area in front of the dwellings which would provide a turning area for the dwellings and 6 additional parking spaces for the occupiers and visitors to the site.

In addition, each property would have a driveway space and integral garage, and as such it is considered that parking would be sufficiently provided for the proposed development.

The Highway's Section have not raised any objection to the proposal and as such would comply with UDP Policy HT2/4 - Car Parking and New Development and SPD11.

Bridge Capacity - A bridge assessment was previously undertaken to establish the maximum weight bearing load capacity for vehicles which would need to access the site. The current capacity is 7.5 tonnes and acceptable in terms of average daily domestic vehicles which would access the site.

However, it was established that the bridge would not be strong enough to carry the weight of a fire engine vehicle, and as such it was proposed to increase the load carrying capacity of the bridge to a minimum of 12.5 tonnes, in compliance with the fire service requirements. These works would be required by a condition.

In terms of waste collection, the bridge would not have the capacity to bear the weight of the

Council's refuse vehicle, even with the proposed strengthening works. The applicant intended to make private arrangements for the collection of household waste and this would be a private matter for them to address.

Flood risk - The site is wholly within Flood Zone 2 and partly Flood Zone 3. The Environment Agency (EA) have been consulted with an FRA dated 2015.

On the previously approved scheme for the redevelopment of the site (reference 58230), the EA recommended the finished floor levels (FFL) be set for the 4 dwellings at 104.0m AOD. This was subsequently amended to 104.25m AOD in the approval of the non material amendment application (reference 59643), and the condition was revised accordingly to reflect this.

When this application was first submitted, the FFL was proposed at 104.25m AOD, as previously recommended by the EA and conditioned as such. Since this approval, the guidance relating to the potential impacts of climate change has been updated (February 2016) and the EA's river model has been re-run with these updated climate change allowances.

The EA have therefore recommended that the FFL be elevated further to give at least 300mm above the 1% AEP + 35% flood level of 104.2m for the habitable rooms on the ground floor. This would equate to a FFL of 104.5m AOD. The EA also recommended that flood resilience measures are built into the design of the dwellings to at least 1m above FFL.

The applicant has therefore amended the plans to address the EA's recommendation and now proposes FFL's of 104.5m AOD. This amendment has also necessitated the need to modify the gradient of the ramp, which would be re-located to the side of the dwellings to achieve Building Regulations standards.

The garages are considered to be non habitable accommodation and the EA are satisfied that a lesser FFL for the garages at 103.65m AOD, would be acceptable.

The revised Flood Risk Assessment (FRA) which has been submitted with the application is dated 31st July 2015, and pre-dates the most recent flood risk advice. However, the applicant has provided an addendum letter to this which revises the finished floor levels to 104.5m AOD. This is in line with the recommendation of the EA.

As such, it is considered that the information submitted in terms of flood risk would be acceptable to enable the safe redevelopment of the site, which would be in accordance with the recommendations of the EA and comply with the principles of chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

Ecology - An Ecological Assessment was submitted on the previously approved scheme, to which GMEU were consulted. The response was that whilst a number of ecological constraints were identified in the report, they could be satisfied by way of condition or informatives.

GMEU have been re-consulted on this current application and are satisfied that the amended plans would not make any significant difference to the ecological impacts on the proposed development and have no additional ecological recommendations to make. These would be included as part of this application should permission be granted.

Response to objector

- Flood risk has been assessed in the report above. The applicant has submitted an addendum to the originally submitted FRA which revises the finished floor levels to the agreed 104.5m AOD.
- The two existing dwellings on the site do not form part of this planning application and are not material planning considerations.

- The rear boundary of the gardens to the proposed dwellings would be a minimum of 3.1m from the river bank, and therefore no impact on ecology or trees to this area.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings - 8931 - Proposed ground and first floors P01 C; Proposed elevations P02 C; Proposed site P03 C; Planning Justification Statement Rural Solutions; Phase 1 Land Quality Assessment 21st August 2014 G1977-GR-01; Ecological Appraisal by Envirotech ref 2306 report version 1; Addendum letter by PSA Design ref D2544-L-01 dated 10 August 2017, to the Flood Risk Assessment by PSA Design July 2015 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validity evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. The development hereby approved shall be carried out in accordance with the precautionary measures contained in the Envirotech Bat Survey, report ref 2306, and in accordance with Section 9 - Recommendations and Mitigation - and the details of Section 9.2.1 and 9.2.2 as submitted and approved in principle by the Local Planning Authority for planning application ref 58230 . The precautionary measures shall be implemented as approved.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

8. Prior to the commencement of any earthworks, a method statement detailing the eradication and/or control and/or avoidance measures for Himalayan balsam, and Japanese knotweed, shall be submitted to and agreed in writing by the Local Planning Authority. The approved method statement only shall be carried out and implemented in full. The approved method statement shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the method statement and either the date of implementation of the approved measures or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.

Reason. To ensure that the site is free from Japanese Knotweed and Himalayan Balsam in the interest of chapter 11 of the NPPF - Conserving and enhancing the natural environment and Bury Unitary Development Plan Policy EN9 - Landscape.

9. The development hereby approved shall be carried out in accordance with the

proposed street lighting strategy detailed on plan ref 699 SK 002 and report ref 294722/1 dated 9/1/2015 submitted for planning reference 58230.

Reason. To avoid impacts on Protected Species in the area pursuant to Chapter 11 of the NPPF - Conserving and enhancing the natural environment.

10. The landscaping scheme hereby approved, detailed on plan drawing M2417.03 and Landscape Design Statement M2417 November 2014 submitted for planning application reference 58230, shall be implemented not later than 12 months from the date the development hereby approved is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 11 - Conserving and enhancing the natural environment of the NPPF.
11. All trees to be retained on site, as detailed in the Tree Survey and Protection plan M2417.01 submitted for planning reference 58230, shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard are implemented and all measures required shall remain in situ until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
12. No development shall commence unless and until details of foul and surface water drainage aspects have been submitted to and approved by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include an assessment of potential SuDS options for surface water drainage with appropriate calculations to support the chosen solution. Options considered shall be in accordance with the submitted Flood Risk assessment and Drainage Strategy and the 'Draft National Standards and Specified Criteria for Sustainable Drainage' including assessment of 1/100 year storm event with climate change allowance.
Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
13. No development shall commence unless and until full details of the following have been submitted to and approved by the Local Planning Authority:
 - Updated Bridge Assessment Report and subsequent proposals to increase the load carrying capacity of the existing Railway Street Bridge to a minimum of 12.5 tonnes, including all associated repairs and improvements, to ensure adequate, safe access arrangements for future residents, their visitors , Greater Manchester Fire and Rescue Service vehicles and personnel and in order to comply with the requirements set out in Approved Document B Volume 1 for width and loadbearing capacity (3.7m and 12.5 tonnes

- respectively);
- Weight restriction regulatory signage scheme in accordance with Traffic Signs Regulations and General Directions 2016 confirming the resultant load carrying capacity of the bridge;
- Confirmation that vehicle access for a Fire Appliance to within 45m of all points within all dwelling houses (Approved Document B Volume 1) can be achieved;
- Swept path analysis of the proposed internal road layout (a minimum clear road width of 3.7m is required) to demonstrate either that a fire appliance can be accommodated within the limits of the site access roads without having to override onto soft grass verges, or the provision of a 'Grasscete' type product, or the widening of the access road at identified points;
- Provision of adequate car parking restrictions, markings and/or signage to ensure that the areas used to manoeuvre a Fire Appliance within the two turning heads proposed are maintained free of obstruction from parked vehicles (designed in accordance with the specifications in Approved Document B Volume 1);
- An appropriately positioned fire hydrant constructed and installed to BS750:2012 on a water main of not less than 63mm internal diameter.

The details subsequently approved shall be implemented to an agreed programme to be approved by the Local planning Authority.

Reason. Details have not been provided within the application to ensure good highway design and provide adequate access arrangements for the Fire Service, in the interests of highway and fire safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New residential Development and EN1/2 - Townscape and Built Design.

14. The on site refuse collection/bin storage arrangements indicated on the approved plans for planning reference 58230 shall be provided before the converted building and 4 No. new dwellings hereby approved are first occupied and shall subsequently be maintained thereafter for this use.
Reason. To ensure adequate off-highway refuse collection facilities are provided to mitigate the fact that the usual curtilage system of refuse collection cannot be offered by the Council in this instance due to the existing and proposed load carrying capacity of the Railway Street Bridge, pursuant to Bury Unitary Development Plan Policy H2/2 - The Layout of New Residential Development.
15. The turning facilities indicated on the plans hereby approved shall be provided before the development is first occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the site access roads and highway in the interests of road safety pursuant to Bury unitary development plan policies H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.
16. The car parking indicated on the plans hereby approved shall be surfaced, demarcated and made available for use prior to the development hereby approved being occupied and thereafter maintained available for use at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policies H2/2 - The Layout of New Residential Development and HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
17. The developer, within one week of the commencement of development (excluding any works to increase the load carrying capacity of the existing Railway Street bridge), shall ensure that there is provision to be made for the parking on site of operatives' and construction vehicles together with storage on site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and the areas identified shall not be used

for any other purposes other than the parking of vehicles and storage of construction materials respectively.

Reason. To ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period, in the interests of highway safety pursuant to Bury Unitary Development Plan Policy EN1/2 - Townscape and Built Design and HT2/4 - Car Parking and New Development.

18. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details only shall be implemented and maintained thereafter during the period of construction.

Reason. A scheme has not been provided at application stage to ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Bury Unitary Development Plan Policy EN1/2 - Townscape and Built Design.

19. The finished floor level of the ground floors of the dwellings hereby approved, shall be no lower than 104.5m AOD as shown on approved plan numbers P01 Rev C and P03 Rev C and in accordance with the recommendations of the Environment Agency dated 19th July 2017. The finished floor levels shall be implemented and completed prior to first occupation of the dwellings hereby approved and thereafter maintained.

Reason. To reduce the risk and impact of flooding to the proposed development and future occupiers of the development and to reduce the impact on flood risk elsewhere pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

20. Materials for the development hereby approved shall comprise the following -
Brick - Windmill Orange Multi brick

Roof tile - Grey slate

Timber framed double glazed doors and windows - quartz grey RAL 7039

Timber soffits and fascias - quartz grey RAL 7039

K Render off white

Only the approved materials/bricks shall be used for the construction of the development.

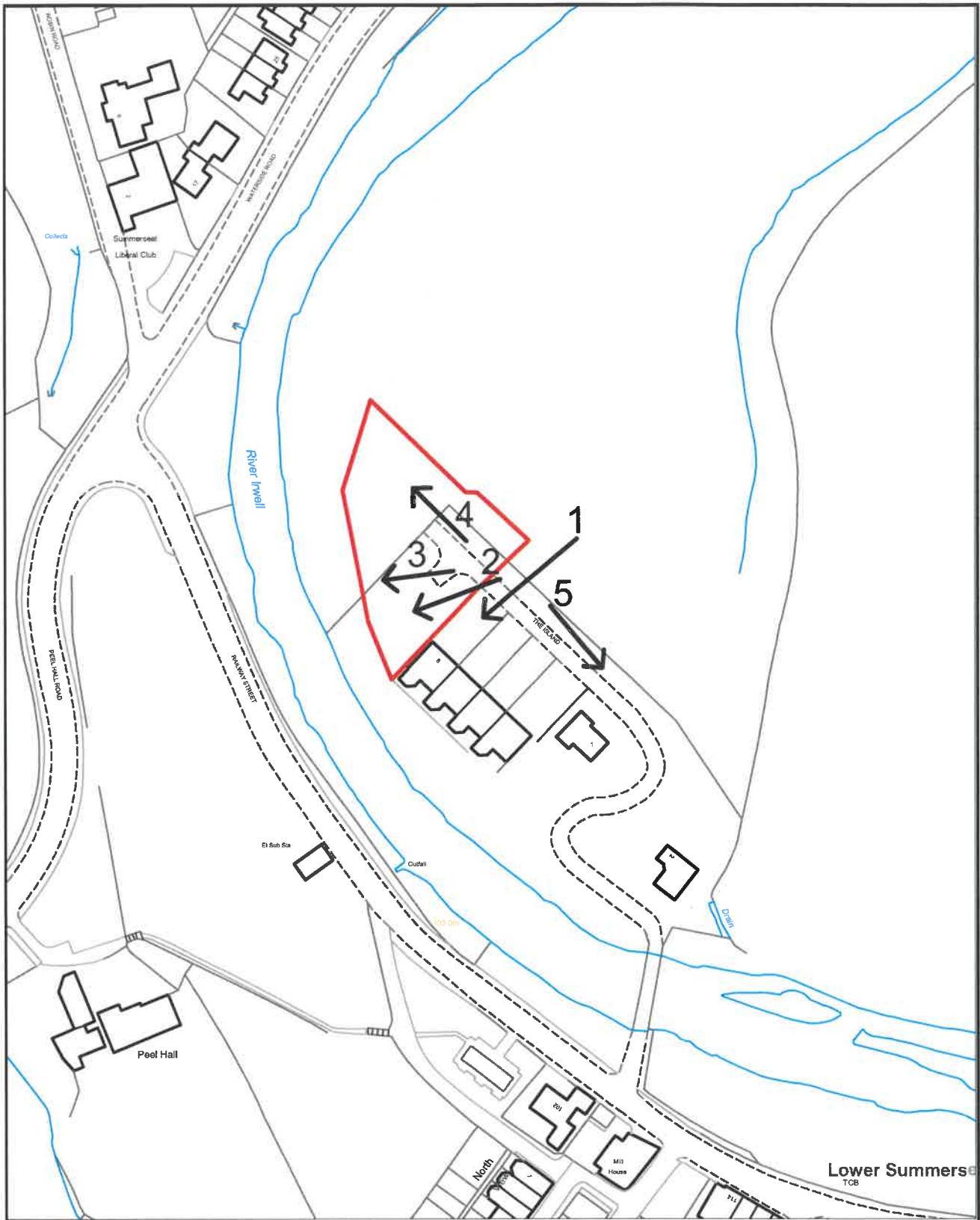
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 - Visual Amenity, EN1/2 - Townscape and Built Design, EN9/1 - Special landscape areas and H2/1 - The Form of New Residential Development.

21. The garages associated with the development and hereby approved shall not be converted to additional living accommodation.

Reason. To ensure there would be no risk to future occupiers of the flooding of habitable rooms, pursuant to Policy EN5/1 - New Development and Flood Risk of the Bury Unitary Development Plan and chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61564

**ADDRESS: The Island
Railway Street**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61564

Photo 1



Photo 2



61564

Photo 3



Photo 4



61564

Photo 5





SP Proposed Site Plan

PS Proposed Part Site Plan

Key to materials

- Natural stone paving to paths
- Grey block paving to driveways
- Black bitmac to roads
- Grassed/landscaped areas

1. Site plan showing proposed	17.05.2017
2. Proposed site plan showing	17.05.2017
3. Proposed site plan showing	17.05.2017
4. Proposed site plan showing	17.05.2017

Sunnywood Estates

The Island
Somerset - BURY

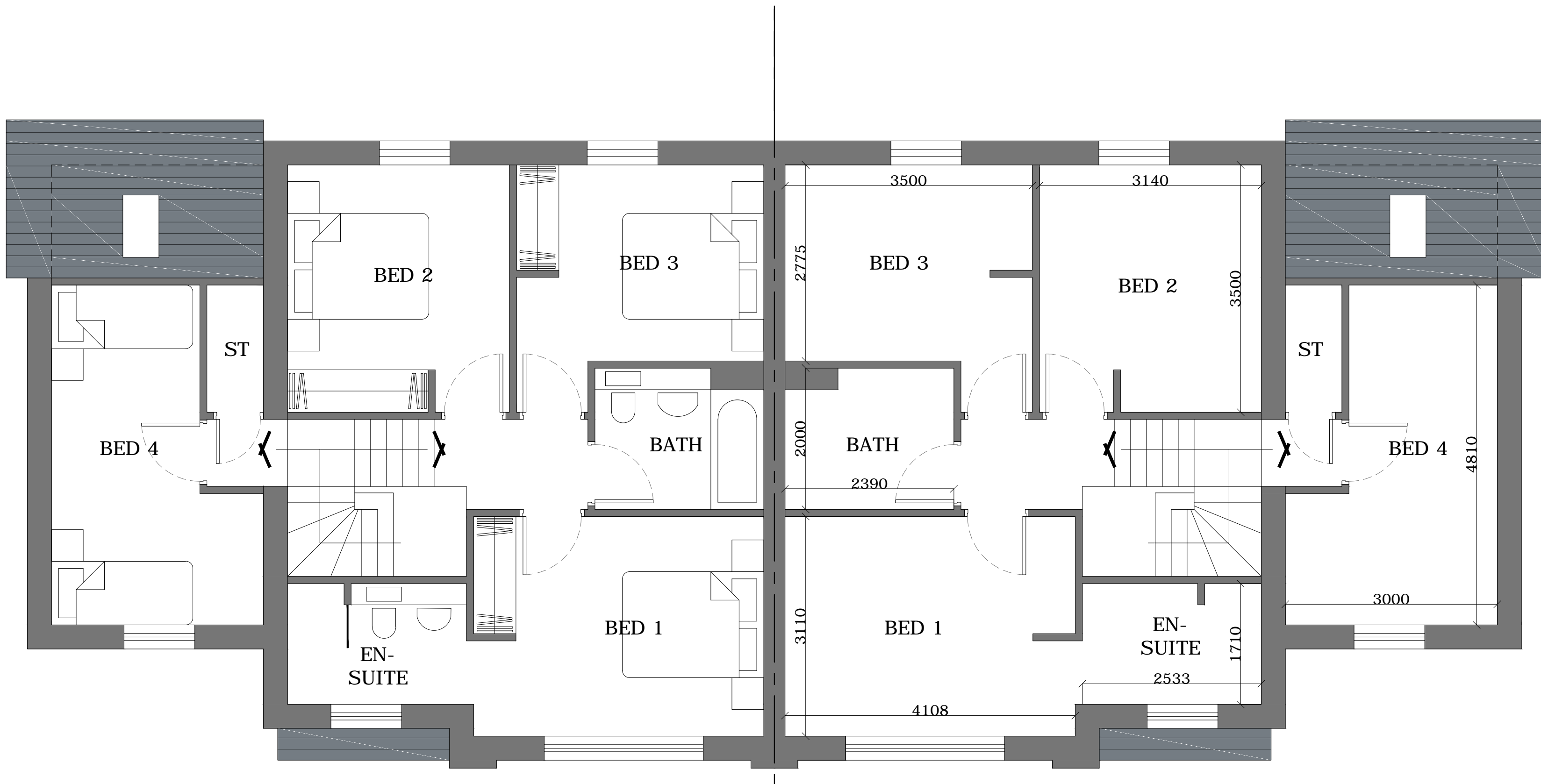
Scale 1:50
Proposed Site

Date: nd 17.05.2017
PLANNING To be done As Indicated

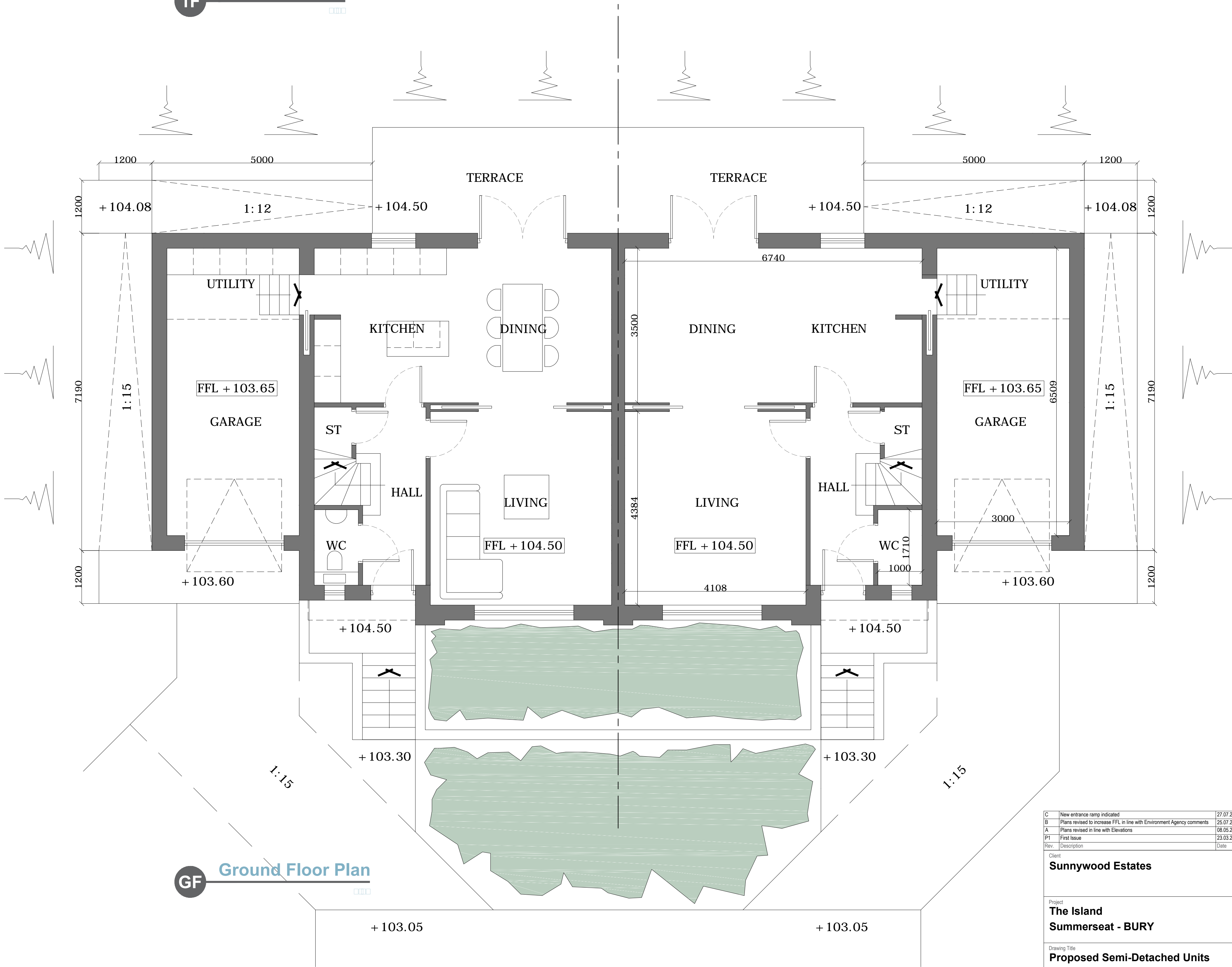
8931 P03 C

Cassidy+Ashton

101 Station Road, Cheltenham, Gloucestershire, GL51 4JL
01242 422 555



1F First Floor Plan

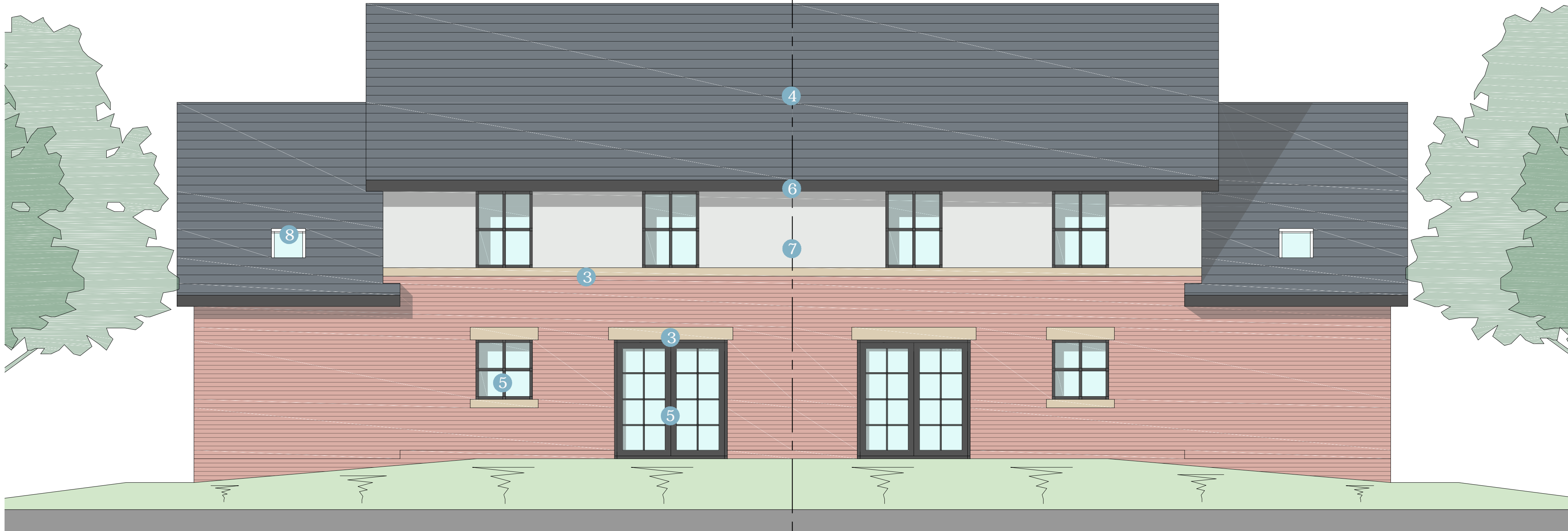


GF Ground Floor Plan

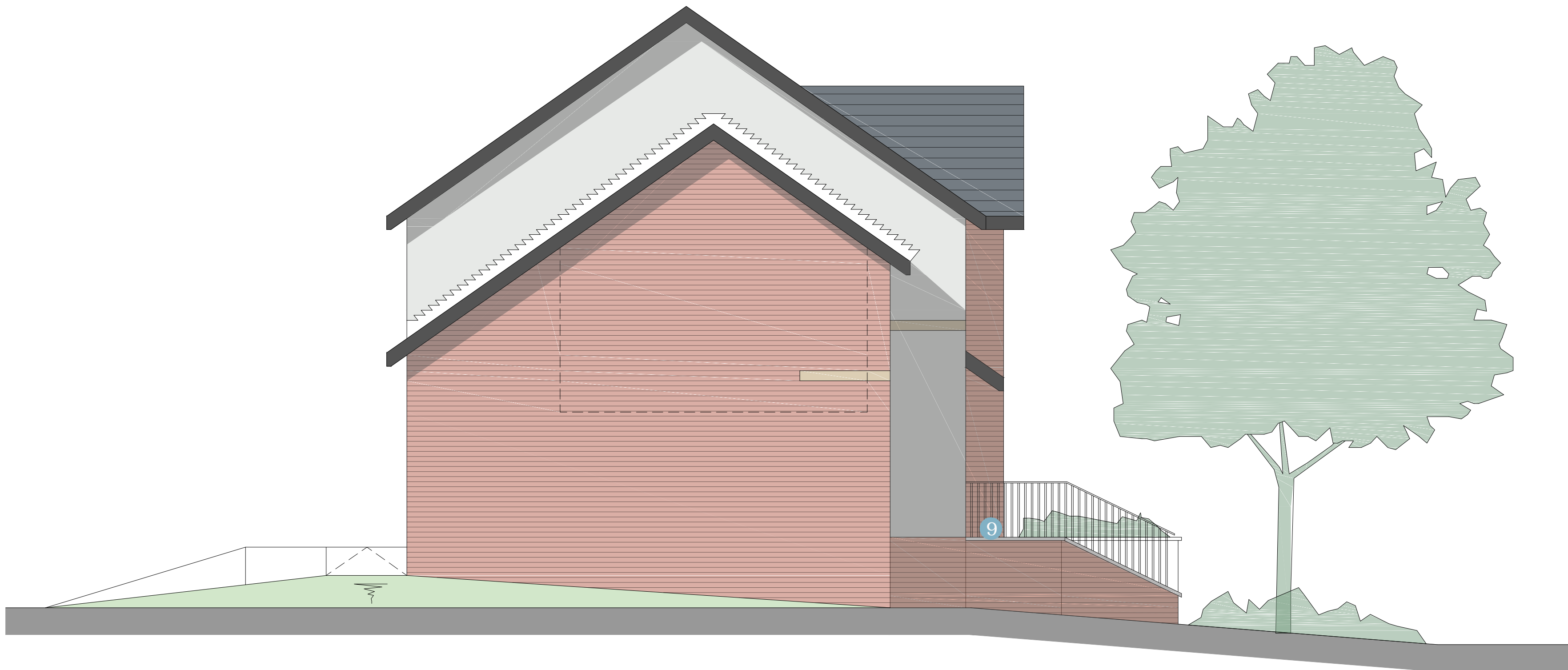
C	New entrance ramp indicated	27.07.2017
B	Plans revised to increase FFL in line with Environment Agency comments	26.07.2017
A	Plans revised in line with Elevations	06.05.2017
P1	First Issue	23.03.2017
Rev.	Description	Date
Client		
Sunnywood Estates		
Project		
The Island Summerseat - BURY		
Drawing Title		
Proposed Semi-Detached Units Ground & First Floor Plans		
Drawn by	nd	Checked by nd Date 11/11/17
Status	PRELIMINARY	Scale @ A1
Job no.	8931	Rev. C
Dwg no.	P01	
Cassidy+Ashton		
www.cassidyashton.co.uk		
Architecture + Building Surveying + Town Planning		
7 East Cliff, Preston, Lancashire, PR1 3JE 01772 258 356		
Units 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100		



FE Front Elevation



RE Rear Elevation



SE Side Elevation

Key to materials

- 1 Red facing brickwork to be Windmill orange multi by Weinerberger
- 2 Red facing brickwork arches to be Windmill orange multi by Weinerberger to match Mill building
- 3 Artstone heads/cills and bandcoursing
- 4 Roof tiles to be Cembitre slate look roof tiles
- 5 Timber framed double glazed doors & windows coloured quartz grey RAL 7039
- 6 Timber soffits & fascias coloured black
- 7 Render to be K Rend coloured off white
- 8 Velux rooflight
- 9 Mild steel railings to be painted quartz grey RAL 7039

C	New entrance ramp indicated	27.07.2017
B	Elevations revised to increase FFL in line with EA comments	25.07.2017
A	Railings added to entrance steps and ramp	17.05.2017
P1	First Issue	08.05.2017
Rev.	Description	Date
Client		
Sunnywood Estates		
Project		
The Island		
Summerseat - BURY		
Drawing Title		
Proposed Semi-Detached Units		
Proposed Elevations		
Drawn by	nd	Checked by nd Date
Status	PLANNING	Scale @ A1
Job no.	8931	Dwg no. P02 Rev. C
Cassidy+Ashton		
Architecture + Building Surveying + Town Planning		
7 East Cliff, Preston, Lancashire, PR1 3JE 01772 258 356		

Ward: Whitefield + Unsworth - Unsworth

Item 07

Applicant: Commercial Development Projects Limited (CDP Ltd)

Location: Land off Roach Bank Road, Bury, BL9 8RQ

Proposal: Variation of condition 2 (approved plans) of planning permission 60556 for an industrial unit for a food production facility. Amendments to the approved scheme comprise: revisions to site layout, floor layout and elevation plans; revised landscaping scheme and boundary treatment; increase in height of building from 15.7m to 16.4m; revised parking provision from 272 spaces to 260 spaces

Application Ref: 61598/Full

Target Date: 07/08/2017

Recommendation: Approve with Conditions

A site visit has been requested by the Development Manager prior to the Planning Committee meeting.

Description

The application involves 3.92 hectares of land which is situated on the westerly edge of Pilsworth Industrial Estate. The site forms part of the Pilsworth Employment Generating Area and is allocated for Business, General Industrial and Warehousing Uses as defined in the Bury Unitary Development Plan under policies EC1/1 and EC2/1. The Industrial Estate comprises of similar development types for industrial and warehousing purposes.

The site has been the subject of landfill operations which were completed to achieve a level surface in preparation for industrial development. To the north and west, the site is bounded by a Wildlife Link and Corridor (Policy EN6/4) and River Valley (Policy OL5/2), beyond which the land descends to the River Roch with a housing development beyond to the west. To the east and south of the site are well established industrial and business units.

Background.

A planning application, planning reference 60556, was submitted in September 2016 for the development of the site for a 16,110 sqm industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping.

Letters were sent to 86 properties notifying occupiers of the proposal including those at lower Gigg Lane. All these properties were re-notified by letter dated 29/9/2017, of amendments to the application to revise the site layout including new access arrangements and re-siting of the building. One letter of objection was received.

The application was approved at the Planning Control Committee on 25th October 2016.

The height of the building was proposed at 15.7m and would incorporate a mezzanine floor for office and meeting room accommodation. The majority of the ground floor would be given to the food processing operation, with areas designated for goods-in, storage, packing and dispatch store. The building would have a typically industrial external appearance, materials comprising a mix of grey cladding and blue brick. The stairwell proposed full height glazing, with windows to the offices on the west and southern elevations, to be grey tinted anti sun glass.

The car park would be laid out to the front of the site to provide parking for 272 cars. A separate access off Roach Bank Road at the easterly side of the site with a gatehouse

and vehicle barrier would be used by HGV's for deliveries only.

The application also included a 10m wide landscaping zone along the westerly boundary adjacent to the Wildlife Corridor, to be planted with mature and semi mature vegetation and trees.

The business proposed a 24 hour operation, Monday to Friday, operating a shift rotation pattern for up to 400 employees.

Works to implement permission 60556 commenced on site. On the build out of the industrial unit, it was brought to the attention of the Local Planning Authority by local residents, that the height of the building appeared to exceed that which was granted approval. This was investigated by the Council's Enforcement Section, whereupon it was found that whilst the building had been built to the approved height of 15.7m, it was to increase by a further 0.7m to 16.4m following the installation of the cladding. This was confirmed as correct by the applicant.

Proposal

This application seeks to regularise the development to accommodate the increase in height of the building from that originally approved at 15.7m, to a completed height of 16.4m,

The application has been submitted as a Variation of Condition application (Section 73) to vary the approved plans under Condition 2 of the planning permission 60556.

The application comprises of the following proposals:

- Increase in the maximum height of the building by 0.7m from 15.7m to 16.4m;
- Redesign of the electricity sub-station located adjacent to the HGV site entrance;
- Revised landscaping scheme with increased mature tree planting in the 10m buffer zone, including evergreen trees ;
- Location of fire door to north elevation;
- Roller shutter door re sized to 'Goods in' area on the south elevation;
- Louvres added to east elevation;
- Amendments to car park layout to provide 260 spaces (272 spaces originally approved).

For completeness and to rationalise all matters in one application, this application also includes the already approved amendments to the scheme which were granted permission under a non-material amendment application ref 60776. These amendments comprised:

- Goods lift - lay by added along the HGV access/egress;
- Plant room - increased in length along the eastern elevation from 24m to 54.5m;
- Staff staircase entrance block on western elevation relocated internally.

The applicant also proposes some additional tree planting along the western bank of the River Roch opposite the houses on Harrington Close. This is a separate matter and to be agreed with the LPA's Countryside Officer. It does not form part of this planning application.

Relevant Planning History

17/0136 - Industrial unit (60556/60776) - Enforcement Case regarding the height of the building.

60776 - Non-material amendment following grant of planning permission 60556 (industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping): Goods lift - lay by added along HGV access/egress; Plant room width increased from 24m to 54.5m on eastern elevation; External staircase at staff entrance on west elevation now included inside building - Approve 01/12/2016

60556 - Full planning application for an industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping. - Approved 25/10/2016.

58223 - Outline planning permission for B2 and B8 development with all matters reserved except for access - Approved 19/02/2015

54580 - Extension of time implementation of planning permission 50804 for office development - Approved 21/12/2011.
50804 - Office Development (total of 8864 sqm of office floor space) - Approved 18/2/2009
58243 - Single storey rear extension - Approve with Conditions 26/01/2015

Publicity

96 letters sent on 13/6/2017 to properties on Harrington Close, Grasmere Drive, Newby Close, Redmere Drive, Gigg Lane, Arncliffe Close, Roach Bank Road, Park 66.
Site notices posted on 15/6/2017.

Objections received from properties at:

Nos 10, 12, 21, 33, 43, 187, 226, 232 Grasmere Drive; 226, 228, 232 Gigg Lane; 3, 9 Arncliffe Close; 5, 7, 8, 19 Harrington Close

The objections are summarised as follows:

- Utterly disgusted with the original planning approval;
- Object to any increase in height of the building;
- The building is high to start with and is in full view from houses;
- Residents were not informed of the scale of the project and the monstrous eyesore that has been erected directly in front of houses;
- Not understand why the development towers over the residents when it could be set back on the plot;
- The development appears totally illogical with no consideration of the impact on residents;
- Deflation in value of house prices causing huge anxiety and stress;
- A monstrosity, eyesore to the local community and ruined the surrounding area;
- 24 hour/7 day a week noise pollution;
- No consideration of smells pollution;
- Detrimental impact on wildlife;
- Lack of sunlight which will impact on Vitamin D deficiency; blocks morning sun and daylight;
- An absurd proposal which should be rejected; a disgrace;
- Our house was sold to us as being on a country park and not overlooked which it is now;
- Any amount of tree planting will fail to cover the sheer height of the building;
- The road already floods when the river cannot take excessive rain water so the additional water from the building will cause more flooding;
- Excessive lighting at night from around the building;
- Mature trees need to be planted to hide the building;
- Should never have been built in a residential area;
- I would have objected to the development in the first place if notified - lack of consultation is appalling;
- The area is a Green Belt area;
- The building is already double the width of the original plans approved and no consultation was carried out. No opportunity to object to what is now a monstrosity;
- The original plan seemed reasonable and has been changed beyond all recognition.
- Did not receive notification of the proposed development despite living directly opposite;
- Do not feel the Council have behaved in a professional manner and do not accept your competence regarding planning for our town;
- These last minute amendments do not inspire or encourage me to believe the council are competent in completing a building of this magnitude;
- Suspicious that we have been contacted regarding this application but not the one in November 2016;
- Who will cover the damage when the river invariably floods?;
- The building is most visible from Arncliffe Close and I had received no notification of the application;

- Possible methane gas escaping from previous landfilling;

Letters sent on 11/7/2017 to all those notified of the application informing of additional information received from the applicant. The information comprised a Building Height Appraisal Document and site section/profile plan.

Comments received from Nos 226 Gigg Lane, 9 Arncliffe Close, 5 Tunstall Close, 3 Newby Close, 5, 10, 36, 37, 47 Grasmere Drive, 9 Harrington Close summarised as follows:

- Request that the odour caused by the processes highlighted within the plans will be controlled;
- Olive production/cooked packaging/butchery all carrying different levels of odour that if not contained and filtered correctly will cause degradation and devaluation of residential properties in the areas both notified and not notified of this application;
- Without the control of odour documentation being submitted, request that additional notification of all properties opposite the Rover Roch be notified and changes and additional time be allowed to review and supply comments;
- Concerned to the lack of detail of size of trees being instructed to be planted to aid the view of houses opposite;
- A 10m band of shrubs/trees are not sufficient to camouflage the houses;
- Need to address the privacy to the 3 windows within the office block facing the river and houses opposite which are in direct sight of residential bedrooms which has not been taken into accounting any stage of the application - request this be investigated and a response made public;
- The increase in height increases the issues raised above;
- It is a shambles the way Bury Council have dealt with the residents on Grasmere and the surrounding area;
- This monstrosity could have been set back a few metres and impact reduced;
- I was not considered worthy of notifying of the first application - but now i am?;
- As the letter from the Enforcement officer said - we have no right to a view, are not responsible for devaluation of property;
- There is no interest in the views of the residents;
- The ballot box is our only redress at election time to remove those responsible;
- Disgusted by a corrupt council similar to Kensington and Chelsea;
- Disgusting what you have done to this area and this housing estate that entrust you to look after the well being of residents;
- Did not know it was going to be so high otherwise would have objected in the first place;
- Why have we received another letter to notify the residents of the application - are the planning department completely incompetent;
- Our concerns should be individually addressed;
- What is a food processing plant?;
- To add a further point on the landscaping, it appears that everything has been taken into account in the summer months when the trees are in full bloom - no account taken for the winter months when there are no leaves on the trees. As when the building was going up in winter the trees offered us no protection from the eyesore of the building;
- Also in winter with the building occupied 24 hours a day the lights will be on through the night and residents would not have the protection from the trees to block out light;
- We are experiencing an unacceptable amount of glare when the sun is shining on the building which directly reflects onto my property. The light is blinding and we have to close our blinds.

The objectors have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Environmental Health Contaminated Land - Desk reports and site investigation reports have previously been received and a remediation strategy agreed under planning approval 60556. Conditions recommended to carry out the remediation works as approved and

submit a Site verification Report prior to the use commencing.

Environment Agency - No objection in principle and no further comments to make. Two conditions recommended under planning approval 60556 remain relevant and appropriate and would be recommended on this application.

Greater Manchester Ecology Unit - No objection.

Unitary Development Plan and Policies

EC1	Employment Land Provision
EC1/1	Land for Business (B1) (B2) (B8)
EC2/2	Employment Land and Premises
EC5	Offices
EC5/2	Other Centres and Preferred Office Locations
EC6	New Business, Industrial and Commercial Development
EC6/1	New Business, Industrial and Commercial
EN1	Built Environment
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN5	Flood Protection and Defence
EN5/1	New Development and Flood Risk
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
OL5/2	Development in River Valleys
EN1/1	Visual Amenity
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework
HT2/10	Development Affecting Trunk Roads
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EC3/1	Measures to Improve Industrial Areas
HT6/2	Pedestrian/Vehicular Conflict
HT2	Highway Network
HT4	New Development

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Land use - The site is designated under UDP Policies EC1/1 - Land for Business and EC2/1 - Employment Generating Areas and this allocation identifies the site as being suitable for Business (B1), General Industrial (B2) or Warehousing (B8). The principle of the development of the site for industrial purposes is therefore in accordance with the economic policies of the UDP.

Principle - Industrial development - The redevelopment of the site to provide an industrial unit with associated servicing, parking and landscaping under planning permission reference 60556, was assessed and considered against relevant National and Local Planning Policies. All aspects of the scheme complied with planning policies and procedures were correctly followed. The development was therefore considered to be acceptable in principle and detail and granted approval with conditions.

Assessment of the proposed amendments to the approved development

Increase in height of the building by 0.7m from 15.7m to 16.4m - Based on comments

received by some of the objectors, there appears to possibly be some confusion or misunderstanding regarding the height of the building which has been approved on this site. For clarification purposes, the extant permission (ref 60556) which is currently being built out, was for the erection of a 15.7m high single industrial unit. 86 properties were notified of the application on 12/9/2016. Site notice posted 26/9/2016. Press notice in the Bury Times 22/9/2016. One representation was received to this application, following 2 notification processes.

There was a previous consent which was granted in February 2015, (reference 58223) and this was for 3 industrial units. 85 properties were notified and one representation was received. As the application was outline with details of access only, heights of the buildings were not set or approved at the time. However, indicative site sections suggested that the two smaller buildings would be approximately 12m high, with the larger unit at a height of 18m. A reserved matters application was not submitted following the grant of consent of the outline approval.

In 2009, permission (ref 50804) was granted for an office development comprising 13 separate units. This permission was not implemented.

To summarise therefore, this planning application seeks consent for approval to increase the height of the approved building by 0.7m from 15.7m to 16.4m.

The site sits in an elevated position in comparison to the residential development across the River Roch. The nearest houses are those on Harrington Close, 118m from the building. The previously approved application assessed the impact and relationship of the building to the residential estate to the west.

At the separation distances involved, the intervening landscaping and landform, the additional landscaping proposed (see section below), and the nature of the use as offices/commercial which tend to raise less problematic privacy issues than use for domestic purposes, the impact on residents to the west of the site was considered and reported and would more than satisfy the requirements with regard to distances and relationships to residential properties in line with planning considerations.

The plans and proposals have not changed to any significant degree from those which were lawfully approved. In real terms, the building height has been increased by less than 5% than that approved. Comparatively speaking, to a building which was already approved at 15.7m in the first instance, the increase of 0.7m in height would be marginal and not of such significance to be discernibly noticeable, particularly when viewed from properties more than 100m away. The landscaping has yet to be implemented and the intention to plant along the side of the building at the top of the embankment with further tree planting would further aid its integration of the development into the area (see section below).

As such, it is considered that the proposal to increase the height of the building by 0.7m would not have any discernible impact beyond what is already approved, on the residential amenity of the occupiers of houses to the west, and as such would be acceptable and comply with UDP Policies EN1/2 - Townscape and Built Design and EC6/1 - Assessing New Business, Industrial and Commercial Development.

Landscaping scheme along the top of the embankment to the western boundary of the site

The originally approved development included a landscaping scheme to not only enhance natural conservation within the local environment, but primarily to assist in screening the development from views from the houses on the opposite side of the River Roch. The landscaping was to comprise mature and semi mature trees, planted in a 10m wide buffer zone along the western boundary of the site and largely in front of the office block part of the building where the windows were concentrated.

There is already some screening of the site from established vegetation and together with the planting which was proposed, the landscaping scheme was considered acceptable.

In this application, the applicant proposes to incorporate additional landscaping and tree planting in the area to better the outlook for residents who live to the west, across the River Roch. The planting would comprise a mix of heavy standard mature trees, of an oak and birch species, which can grow to between 25m and 40m at full maturity. These trees would be mainly concentrated along the north western boundary of the site and industrial unit, intermittently spaced to give the maximum screening of the building when viewed from the houses to the west.

It is also proposed to plant evergreen trees and shrubs which would also be planted along the western boundary in front of the entire length of the building and which would provide a visual buffer year round.

Site cross section plans submitted as additional information in document "Building Height Appraisal", shows the comparison of the landscaping scheme which was originally approved between the houses to the west and the building, to that of the landscaping proposed in this application. The applicant has also submitted a photomontage to provide a visual illustration to indicate the level of screening the landscaping would provide once fully established.

Put in its context, the scale and height of the building has not altered by any significant amount in comparison to the original approval, and the landscaping proposed in this application would provide a much higher level of screening and obscure views of the building, more so with the increase in density of planting and type of species proposed.

The applicant has considered the representations made by the objectors and has sought to ensure that there are good levels of neighborliness and relationships through increased planting.

As such, it is considered that the proposed landscaping scheme would more than compensate for the additional increase in height of the building and subject to a condition for the applicant to submit a detailed management plan and a timetable for its implementation, the proposals are considered to be acceptable and would comply with UDP Policies EN1/2 - Townscape and Built Design, EN9 - Landscape and EC6/1 - Assessing New Business, Industrial and Commercial Development.

Additional landscaping proposals by the applicant

Unconnected with this application, the applicant has instigated separate discussions with the LPA's Countryside Officer to discuss opportunities for additional planting along the western bank of the River Roch. Following a meeting on site, several gaps were identified in this area where additional tree planting could be located, and it was agreed that this would assist in alleviating views of the development from residents on the housing estate.

Whilst there is no obligation for the applicant to provide additional planting to this area, as a gesture of good will, and by way of making some amends for the miscalculation of the height of the building arising within this application, the applicant has sought to be proactive to improve matters for local residents.

Discussions with the Council's Countryside officer are ongoing and the future management of and implementation of additional trees to this area would be agreed between these two parties.

Re-design of the electricity sub-station located adjacent to the HGV site entrance - The approved sub station was a single building located close to the HGV entrance to the site. It is now proposed to erect 2 sub stations, located in the same position. The change to the design of the buildings would not affect the operations of the site or affect access/egress arrangements.

Location of fire door to north elevation - This is required for Building Regulation purposes.

The door would open out from the north elevation into the rear servicing area and would not be directly opposite any residential properties.

Roller shutter door re sized to 'Goods in' area on the south elevation - This would be located on the front of the building to facilitate HGV deliveries and would not have a significant adverse effect on operations of the site.

Amends to car park layout to provide 260 spaces (272 spaces originally approved) - The scale of the approved scheme required approximately 260 parking spaces to be provided, in accordance with Supplementary Planning Document 11 - Parking Standards in Bury. Whilst there would be a reduction in parking provision by 12 spaces from the original approval, the development would comply with planning policy guidance and as such the proposed amendment is considered to be acceptable.

Goods lift - lay by added along the HGV access/egress - This would be located adjacent to the eastern elevation of the industrial unit, towards the front of the building. It would aid loading and unloading of goods vehicles so as not to block the access road into the rear servicing yard area. the lay-by would not impede vehicular access or impact on pedestrian circulation around the site. There would be no impact on residential amenity.

Plant room - increased in length along the eastern elevation from 24m to 54.5m - There would be no increase in depth or height of the plant room and the amendment would not result in the footprint of the building moving closer to the eastern boundary.

Louvres added to east elevation - Two louvre openings would be added on the east elevation of the plant room, at a ground floor level. The louvres would result in minor additions to this elevation and considered to be acceptable in this position.

Staff staircase entrance block on western elevation relocated internally - This would result in a minor reduction in footprint of the building on this elevation. There would be no additional windows and no resultant impact on residential amenity or access issues than previously approved.

Response to objectors -

- 86 properties were notified of the original application ref 60556, and were re-notified by letter dated 29/9/2016 of proposed amendments to the scheme. The application was advertised in the local press and site notices posted near the site. All statutory publicity requirements were adhered to.
- The objectors reference a previous outline planning application which was approved but not implemented and not relevant to the assessment of this planning application;
- Deflation of house prices is not a material consideration .
- Pollution (noise, smells, lighting) are controlled under the Environmental Protection Act.
- GMEU were consulted on the original application and raised no objection.
- The site and area is not in the Green Belt.
- The Environment Agency raised no objection to the previous application. The EA issued the applicant with a license to install a surface water outfall to the River Roch and can do so under this license.
- The issues with regards to impact on loss of residential amenity, adequacy of the landscaping scheme have been covered in the report above.

Applicant's response to complaint concerning glare:

- The Applicant was asked to provide a response to a complaint from one of the local residents who had experienced glare from the building. The building has been constructed in accordance with the materials which were originally approved. None of these materials have been known to cause glare on other developments which have used these materials.
- The Applicant has also provided technical evidence to ascertain the frequency and duration of when glare may occur. Using technical software, it was ascertained that at the time the complainant took the photograph (20.16 on 7/8/17), the sun would have

been directly in front of the west elevation during the final 45-60 minutes of daylight that day, and that the sun would only be directly opposite the west elevation during the final hour or so of daylight hours in the summer months of June to September. Throughout the rest of the year, the sun would have set before it is in the same position directly opposite the west elevation.

- In addition, the Applicant states that currently, the materials are brand new and would weather over the coming 12 months or so due to oxidation as a result of environmental conditions and thus not cause glare.
- It is not uncommon for glare to be caused by new development. It is subject to variable weather conditions and the changeable positions of the sun which occur throughout one given year. Whilst glare may be experienced from this building in particular, it would be for short periods of time, when the sun is out and only at certain times of the year.
- The landscaping has yet to be implemented. The proposed landscape is intended to be semi mature and mature species including elements of evergreen trees, which are intended to give significant screening cover.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. This decision relates to drawings numbered Location plan M2172--105 Rev D; Site layout plan M2172 - 02 -1 Rev G; Ground floor layout plan M2172 - A101 Rev C; Main office block floor plans M2172 - A102 Rev D; First floor mezzanine level - M2172 - A105 Rev B; Elevations - M2172 - A201 Rev B; Site sections M2172-09; Landscape proposals - Whole site - SF2580 LL01 Rev E; Fencing layout plan M2172-02-4; Building Height Appraisal July 2017 Issue 1 SF2580 Roach bank road by Smeeden Foreman Ltd; Flood Risk Assessment CPH/FRA/3341.v1 August 2016; Transport Assessment 1016/5/A September 2016; Air Quality Assessment 1016/7 September 2016; Crime Impact Statement 2015/0010/CIS/01 Version A; RDF Ecology November 2016 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
2. The Remediation Strategy agreed and approved under planning application reference 60556 must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and
A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
3. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the

Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

4. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the approval of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. No occupation of any part of the development hereby approved shall take place until a verification report demonstrating completion of works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved, in writing, by the Local Planning Authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan. The long-term monitoring and maintenance plan shall be implemented as approved.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. The scheme submitted for the eradication and/or control of Himalayan Balsam approved as part of Condition 10 of planning permission 60556 shall be implemented in full and in accordance with the approved details and timetable.

Reason. To ensure the safe and satisfactory treatment of invasive species in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year unless otherwise agreed in writing with the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. The development shall be carried out in accordance with Section 7.7.1 - Protection of Adjacent Habitats - of the Preliminary Ecological Appraisal by RDF ecology dated September 2016 and subsequent recommendations and conclusions (5.3)

of the RDF Ecology Report November 2016 as approved as part of Condition 12 of planning permission 60556.

Reason. In order to ensure that no harm is caused to the adjacent habitat pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

9. Within 28 days of the grant of this permission, a detailed management plan and timetable for the implementation of the landscape plan reference SF2580 LL01 Rev E shall be submitted to and approved by the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved landscaping plan reference SF2580 LL01 Rev E , management plan and approved timetable. Any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 11 - Conserving and enhancing the natural environment of the NPPF.
10. The development hereby approved shall be carried out in accordance with the Fencing Layout Plan reference M2172-02-4 and the approved highways details, and implemented prior to the first occupation of the building and thereafter maintained.
Reason. To ensure the security of the site and its visual appearance pursuant to Bury Unitary development plan policies EC6/1 - Assessing New business, Industrial and Commercial Development, EN1/2 - Townscape and Built Design and EN1/5 - Crime Prevention.
11. The materials approved as part of Condition 15 of planning permission 60556 (including the use of non glare tinted glazing and anti glare cladding) shall be implemented in full.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design and EC6/1 - Assessing New Business, Industrial and Commercial Development.
12. The Drainage Scheme submitted and approved as part of Condition 16 of planning permission 60556 shall be implemented in full prior to first occupation of the building hereby approved and thereafter maintained.
Reason. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
13. The development shall be carried out in accordance with the Travel Plan submitted by ashleyhelme report reference 1016/6/A dated September 2016.
Reason. To promote and encourage the use of sustainable transport modes to improve and protect the environment and improve the flow of traffic on the public highways pursuant to Bury Unitary Development plan Policies EC6/1 - Assessing New Business, Industrial and Commercial development, HT4 - New Development and chapter 4 - Promoting sustainable transport the NPPF.
14. Within 28 days of the permission hereby granted, and notwithstanding the details indicated on approved plan reference M2172-02-1 Revision G, full details of the following shall be submitted to the Local Planning Authority:
 - Formation of the proposed heavy goods vehicle access/egress onto Roach

Bank Road, incorporating kerb radii to be determined by the undertaking of an appropriate swept path analysis, visibility splays in accordance with the standards in Manual for Street (with the proposed '2400mm high colour coated v-guard fencing' located clear of the sightlines), demarcation of the limits of the adopted highway and provision of appropriate tactile paving, all to a specification to be agreed and including all associated highway and highway drainage remedial works;

- Formation of the proposed staff and visitor car park access onto Pilsworth Way from the existing turning head, incorporating adequate pedestrian facilities at the interface with, and demarcation of the limits of, the adopted highway and segregated pedestrian link from Pilsworth Way to the proposed building reception, all to a specification and scope to be agreed and including all associated highway and highway drainage remedial works;
- Provision of a HGV/car park entrance signage scheme.

The approved details shall be implemented to an approved timetable by the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of highway safety, ensure good highway design and maintain the integrity of the adopted highway, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EC6/1 - Assessing New Business, Industrial and Commercial Development, HT2 - Highway Network, HT4 - New Development and HT6/2 - Pedestrian/Vehicular Conflict.

15. Within 28 days of the permission hereby granted, a 'Construction Traffic Management Plan' (CTMP), shall be submitted to the Local Planning Authority and shall confirm/provide the following:

- Access route and arrangements for construction traffic from the highway network via M66, Pilsworth Road and Roach Bank Road;
- Hours of operation and number of vehicle movements;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site;
- Parking on site or on land within the applicant's control of operatives' and construction vehicles together with storage on site of construction materials.

The approved plan shall be implemented to an approved timetable. The approved plan shall be adhered to throughout the construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the construction period. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of construction materials.

Reason. To mitigate the impact of construction traffic generated by the proposed development on the adjacent residential streets and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies HT2 - Highway network and HT4 - New Development.

16. Within 28 days of the permission hereby granted, details shall be submitted to the Local Planning Authority for a scheme to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented to an approved timetable and maintained thereafter during the period of demolition/construction.
- Reason. To ensure that the adopted highways are kept free of deposited material from the groundworks operations pursuant to Bury Unitary development plan Policies HT2 - Highway Network and HT4 - New Development.

17. The turning facilities indicated on the approved plans shall be provided before the

development is brought into use and shall subsequently be maintained free of obstruction at all times.

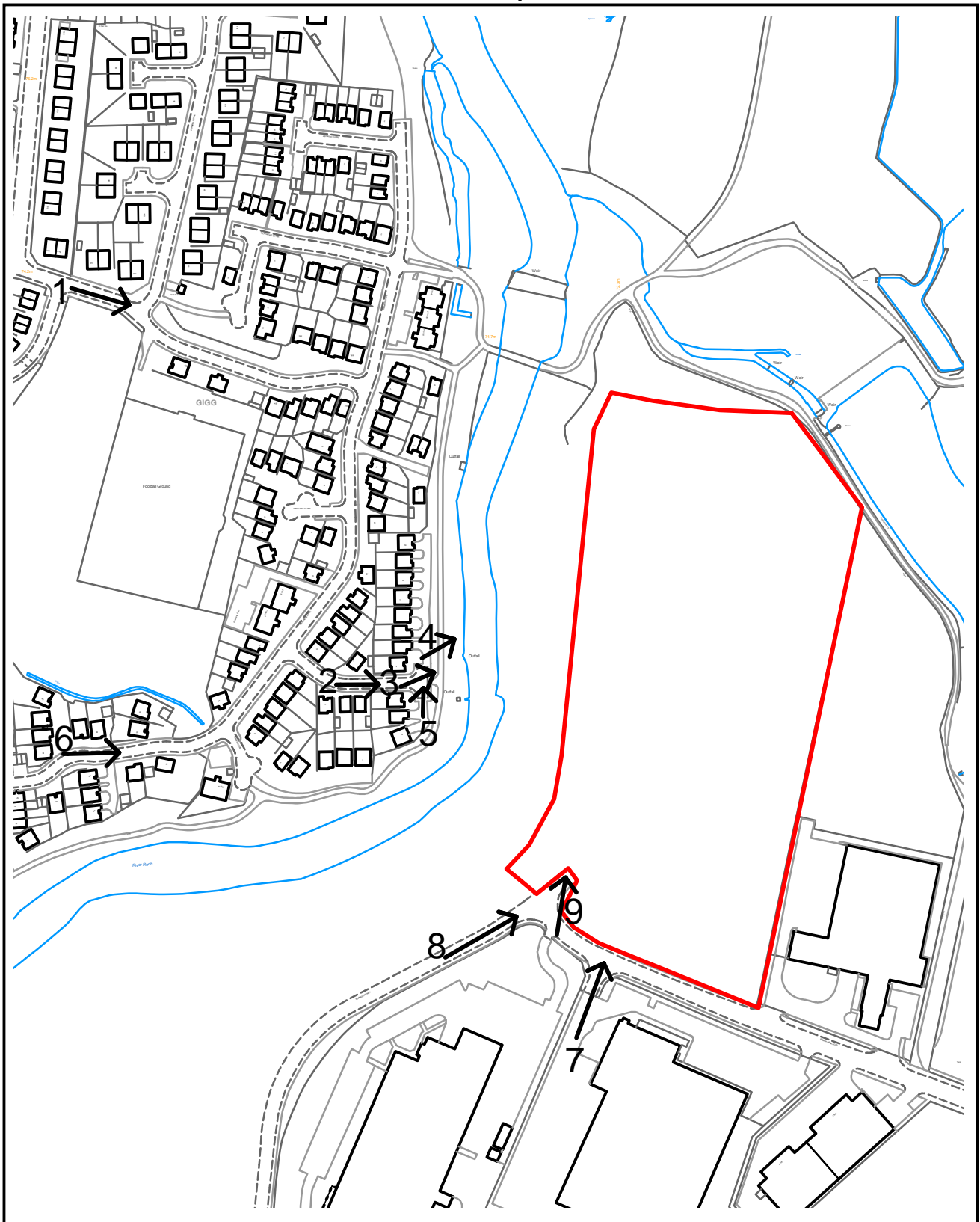
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies EC6/1 - Assessing New Business, Industrial and Commercial Development and HT2/4 - Car Parking and New Development.

18. The car and cycle parking indicated on the approved plans shall be surfaced, demarcated and made available for use to the written satisfaction of the Local Planning Authority prior to the development hereby approved being brought into use and thereafter maintained at all times.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Bury Unitary Development Plan Policies E6/1 - Assessing New Business, Industrial and Commercial Development and HT2/4 - Car Parking and New Development.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61598

ADDRESS: Land off Roach Bank Road
Bury

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61598

Photo 1



Photo 2



61598

Photo 3



Photo 4



61598

Photo 5



Photo 6



61598

Photo 7



Photo 8



61598

Photo 9





COPYRIGHT RESERVED

NOTES

REVISIONS

REV	DATE	DESCRIPTION
A	SEPT 16	FEE LINE A1 ENDED
B	SEPT 16	BUILDING H-BADED
C	SEPT 16	FEE LINE B AND C17 JUNCTION
D	1 OCT 16	CAR PARK ENTRANCE RELICATED

BUILDING MANAGEMENT SERVICES LTD

Huddersfield Road
ELLAND, WEST YORKSHIRE
HEX 95W
TELEPHONE : ELLAND (01422) 371616
FAX NO : (01422) 376717
EMAIL : MAIL@BMSSELLAND.COM

**Building
Management
Services**

CLIENT

C. D. P. LIMITED

PROJECT

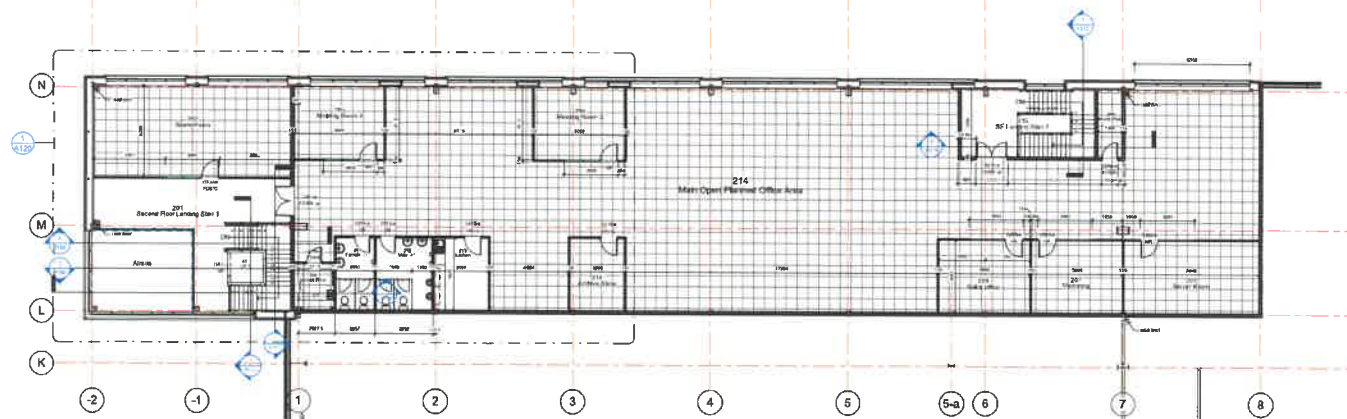
INDUSTRIAL DEVELOPMENT
ROACH BANK ROAD
PILSWORTH, BURY

SHEET

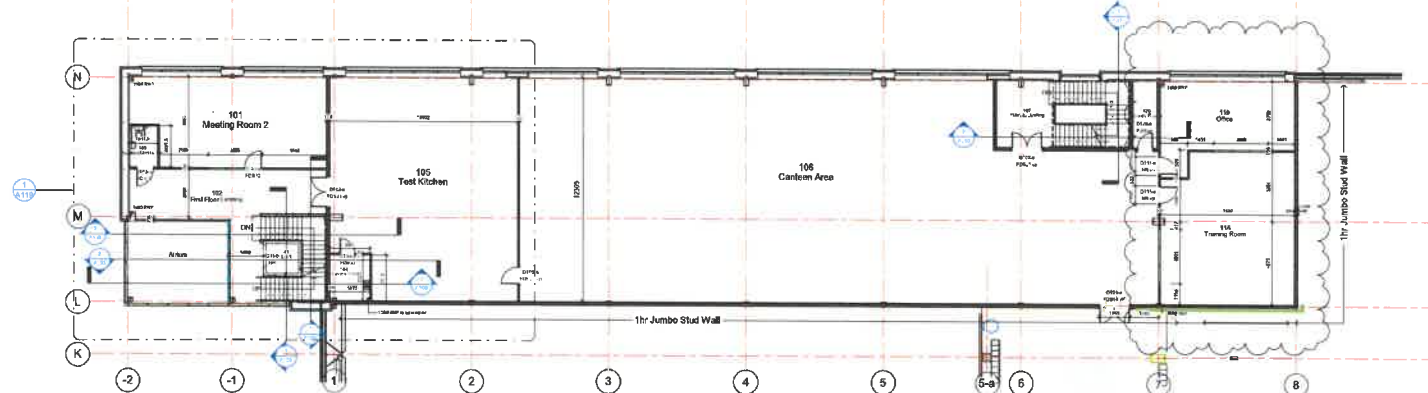
LOCATION PLAN

DESIGN	A. J. BAKER	DATE	SEPT 16
SCALE	1:1000		
STATUS	PLANNING		
CLIENT NO.	M2172-105	REVISION	REV D

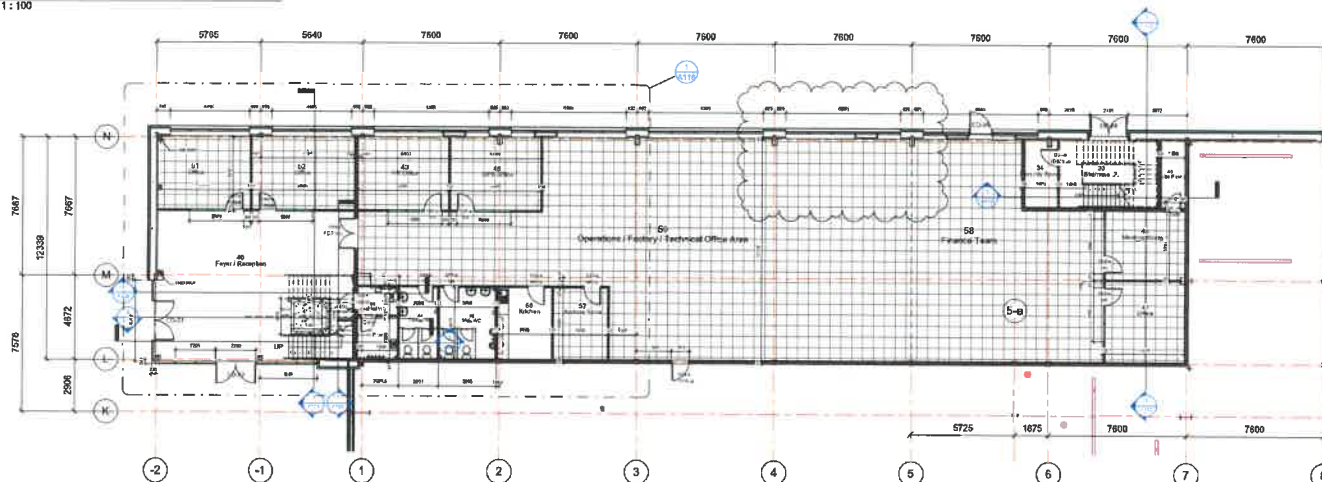
3 Level 2 - Second Floor Office - Shell
1:100



2 Level 1 - First Floor Offices - Shell
1:100



1 Level 0 - Ground Floor Office - Shell
1:100



COPYRIGHT RESERVED

Notes

Revisions

Rev	Date	Description
A	Jan 17	Second Floor lowered by 300mm
B	Jan 17	Grid lines amended
C	Feb 17	Door Wets Added, Glazing to partitions added
D	May 17	GF Office rooms 48 & 50 omitted, FF rooms 116 added, training room reduced in size

BUILDING MANAGEMENT SERVICES LTD

Huddersfield Road
Barns, West Yorkshire
S10 2BN
TELEPHONE: 01484 814140/077610
FAX No: 01484 754017
e-mail: info@bmsltd.com

**Building
Management
Services**

Client

C. D. P. Limited

Project

Industrial Development
Roch Bank Road
Pillworth, Bury

Drawn

Main Office Block Floor Plans - Shell

Drawn	A. J. Baker	Date	12/05/2017
S. S.	1:100		
Scale	Construction		
Drawing No.	M2172-A102	Revision	D

Revisions

Rev	Date	Description
A	Feb 17	Layout updated
B	May 17	Minor Area updated to clients org V35

BUILDING MANAGEMENT SERVICES LTD
 Huddersfield Road
 Elland, West Yorkshire
 HD5 9BW
 TELEPHONE: ELLAND (01422) 371616
 FAX No: (01422) 378717
 email: msl@bmselland.com

Building Management Services

Client
C. D. P. Limited

Project
Industrial Development
Roch Bank Road
Pillsworth, Bury

Sheet
First Floor Mezzanine Level - Fit Out

Drawn
A J Baker

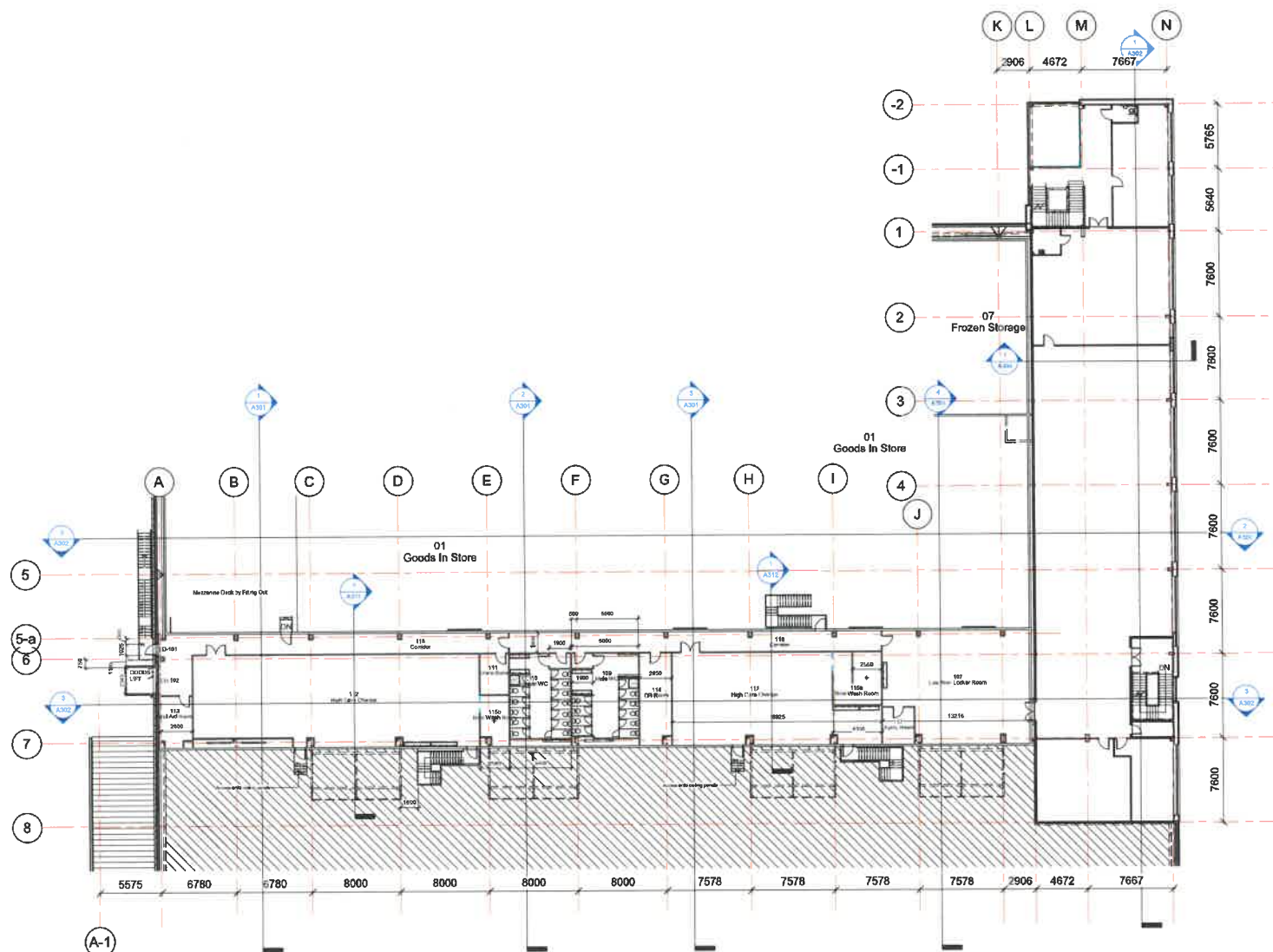
Date
10/20/16

Scale
1:200

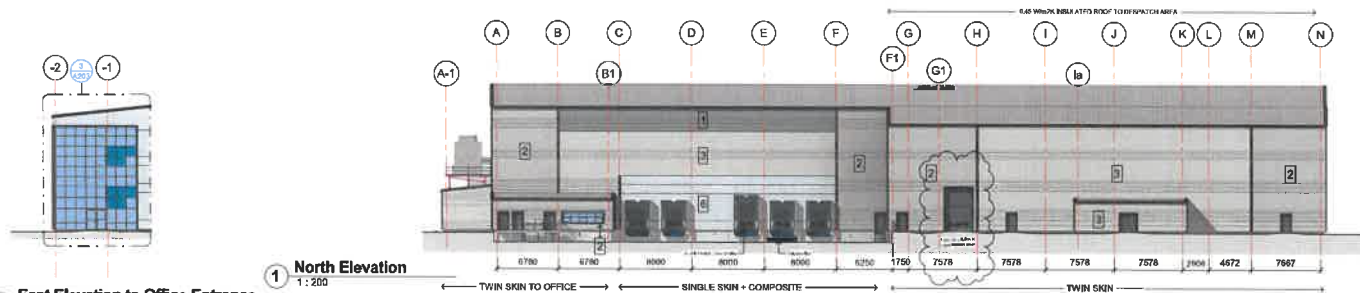
Room
Construction

Drawing No.
M2172-A105

Revised
REV B



1 Level 1 - First Floor Mezzanine- Fit out
 1:200



EXTERNAL MATERIALS :-

1. Twin or Single skin Horizontal cladding , colour :- Merlin Grey BS 18825.
2. Horizontal cladding ,type & colour : Metallic Silver RAL 9006.
3. Horizontal cladding ,type & colour :- Goosewing Grey RAL 10A05.
4. Kingspan Optime flat panels , colour :- metallic silver RAL 9006 .
5. Powder coated louvers , colour :- Powder coated Merlin Grey BS 18825 .
6. Kingspan KS 1000MR micro-rib composite panels , colour : Metallic Silver RAL 9006.

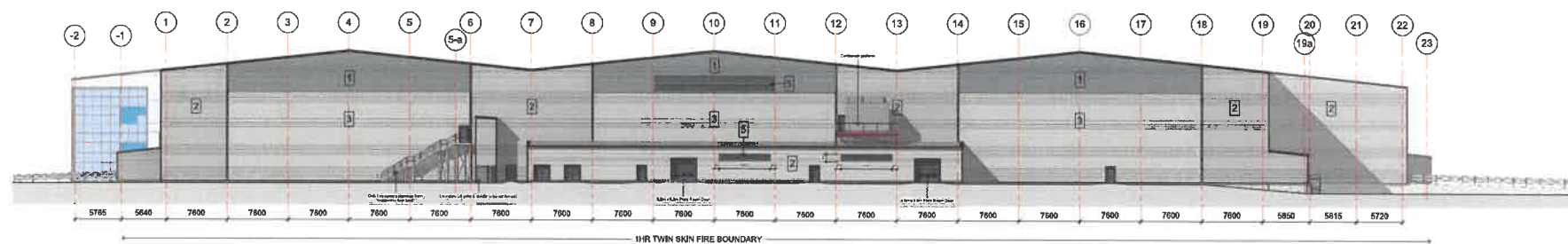
Flashings to be contrasting black .

Doors / windows are to be : Merlin Grey BS 18825 .

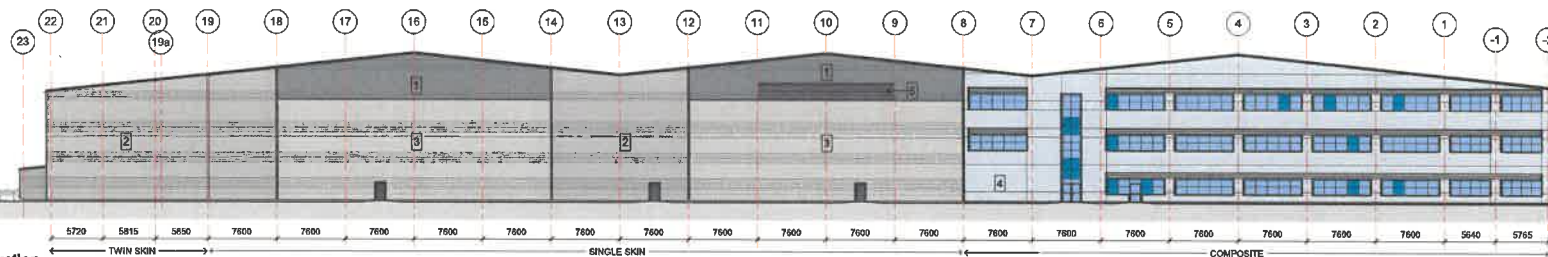
Windows / Curtain Walling to have tinted Grey Anodised glass.

Office brickwork to be : Staffordshire Blue dogbone brickwork with black mortar .

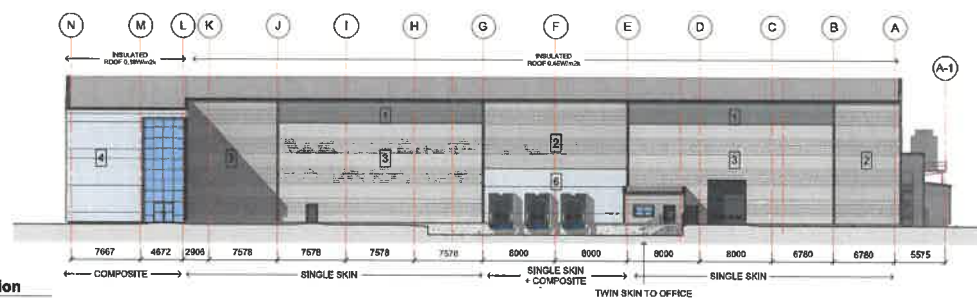
5 East Elevation to Office Entrance
1:200



3 West Elevation
1:200



4 South Elevation
1:200



COPYRIGHT RESERVED

Notes

Revisions

Rev	Date	Description
A	Feb 17	Final Elevation
B	Feb 17	Level access door height increased

BUILDING MANAGEMENT SERVICES LTD

Sturminster Road
Barnes, Surrey TW20 9BN
T: 0181 606 1111
F: 0181 606 1112
Email: info@bmsltd.com

**Building
Management
Services**

Client

C. D. P. Limited

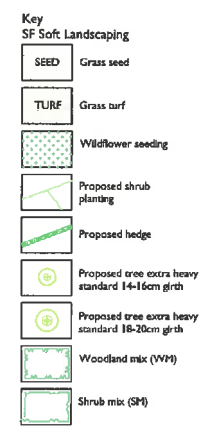
Project

Industrial Development
Kew Bank Road
Plymouth, Bury

Sheet

Elevations

Drawn	As Built	Date	23/05/2017
Scale	As indicated		
Check	Confirmed		
Drawn by		Revised	0
NE172 - A261			



	i	06.08.79	Added planning to river bank.	TPI	M5
D	C	02.02.79	Revised WTKZ. Added new trees along western boundary.	TPI	M5
	C	07.21.84	Absenteeism in accordance with new site layout.	TPI	M5
B	E	03.08.86	Follage in accordance with new site layout.	TPI	M5
	A	03.09.86	Altered WHI. Altered IINOs. Chf areas.	TPI	M5
	Jac	Date			Drawn & sealed



Species	Size	Wing
American kestrel	200-230mm	75
Lesser spotted owl	200-230mm	75

To be placed in the center.

All plants to be produced by William perforated T-joint tubes and to be in short vertical slots.

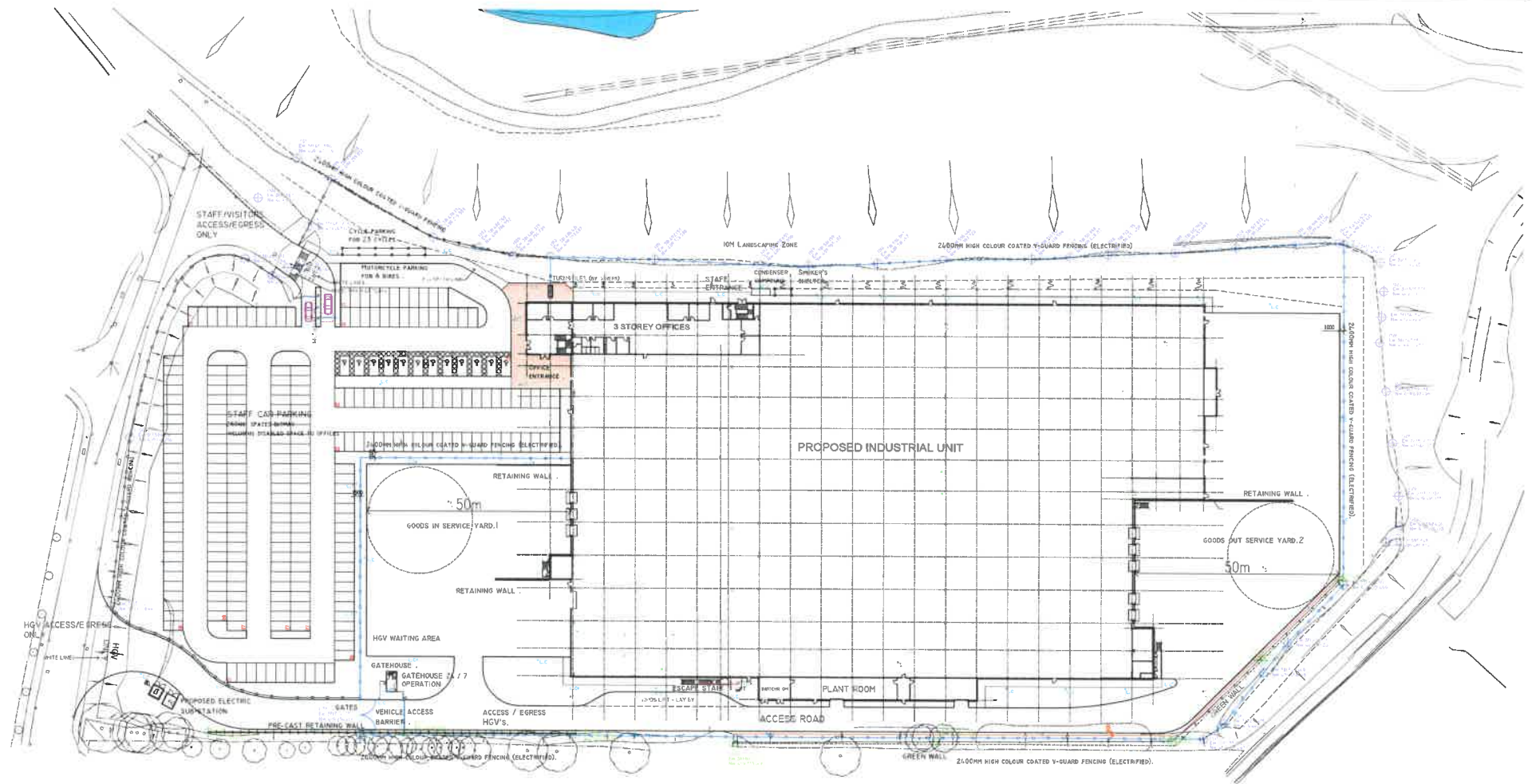
Each plant to form a 1.2m x 0.75m deep area of bare earth.

Leave four rectangular grass mats between plants.

Typical measure		
• Dice	Potential Averages	12.5%
• Sevens	Potential Averages	12.5%
• Casino	Slender Crapsing Red Passes	22%
• Las Vegas	Slender Crapsing Red Passes	15%
• Movie	Chances Probable	20%
• Cam	Smooth Sealed Handover Games	18%
• Live	Smooth Sealed Handover Games	18%

Supporter Reason List
www.college.com

[illegible]



LAND BELONGING TO
MULTIWOOD

REVISIONS REV DATE DESCRIPTION			CLIENT C.D.P. LIMITED	
BUILDING MANAGEMENT SERVICES LTD HUBBERSFIELD ROAD ELLAND, WEST YORKSHIRE HD5 9BW TELEPHONE : ELLAND (01422) 371616 FAX NO : (01422) 376717 EMAIL : MAIL@BMSELLAND.COM			PROJECT INDUSTRIAL DEVELOPMENT AT ROACH BANK ROAD, PILSWORTH, BURY.	
Building Management Services			SHEET FENCING LAYOUT PLAN	
DRAWN A.J.B.		DATE MAR 17		
SCALE 1:500 @ A1		STATUS CONSTRUCTION		
DRAWN BY:		M2172-02-4		

Ward: Radcliffe - North

Item 08

Applicant: Mr & Mrs Neil Partridge

Location: Land adjacent to 5 Stanley Road, Radcliffe, Manchester, M26 4HG

Proposal: Erection of 1 no. dwelling

Application Ref: 61613/Full

Target Date: 07/08/2017

Recommendation: Approve with Conditions

The application was deferred from the previous Committee meeting to carry out a site visit.

Description

The current use of the site is as residential garden associated with No. 5 Stanley Road. There is a garage on part of the site, which is subject of a separate planning application. Access to the site is taken from Snape Street, which is unadopted.

There are residential properties to the north, east and west and St Andrews School is located to the south.

The proposed development involves the erection of a dwelling on land adjacent to No. 5 Stanley Road. The proposed dwelling would be located towards the rear of the site and would be two storeys in height. The proposed dwelling would be constructed from buff brick with a tile roof. Access would be taken from Snape Street and 2 parking spaces would be provided.

Relevant Planning History

59439 - Change of use of adjoining land to residential garden and 1.80 metre high fence (Class C3); Single storey extension at side/rear at 5 Stanley Road, Radcliffe. Approved with conditions - 12 January 2016.

61612 - Removal of existing garage and erection of single storey attached garage extension at front/side and re-aligned boundary wall at 5 Stanley Road, Radcliffe. Received - 12 June 2017

Pre-application enquiry

01978/E - Erection of 1 no. dwelling with attached garage, replacement garage (to no. 5 Stanley Road) and re-alignment of boundaries at land adjacent to 5 Stanley Road, Radcliffe. Enquiry completed - 15 May 2017.

Publicity

The neighbouring properties were notified by means of a letter on 14 June 2017.

1 letter has been received from the occupiers of 52 Snape Street, which has raised the following issues:

- The proposed dwelling is not in keeping with the existing dwellings.
- Access for the property would be from Snape Street, which is an unadopted Road. The condition of the road would suffer with heavy usage particularly during construction.
- Access to existing dwellings would be blocked during construction.
- The proposed parking area for the current houses on Snape Street is unrealistic. The spaces are too small in width and length and cannot be manoeuvred into.
- Parking for No. 54 covers the entrance and would block all access to the street.

- The proposed parking locks access to put bins out for the current and proposed dwellings.

The objector has been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of conditions relating to turning facilities and car parking.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion relating to contaminated land.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/5	Waste Water Management
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Strategy on 20 May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site would be located within the urban boundary and would be surrounded by residential properties. As such, the proposed development would not conflict with the surrounding land uses and would be in a sustainable location with good access to public transport and services. As such, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development

Plan and the NPPF.

Design and layout - The proposed dwelling would be two storeys in height and would be located between two storey properties to the east and a bungalow to the west. The proposed streetscene plan indicates that the proposed dwelling would be slightly lower than the properties on Snape Street (to the east) and higher than the bungalow to the west (Stanley Road). As such, the proposed development would step down appropriately and given its location towards the rear of the site, would not be a prominent feature in the streetscene.

The use of headers, cills and a canopy would add visual interest to the elevations. The proposed development would be constructed from buff brick with a tile roof, which would match the adjacent dwelling and would not conflict with the rendered properties on Snape Street.

Therefore, the proposed development would not be a prominent feature in the locality and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon surrounding area - The level of private amenity space would be acceptable and there would be space to the side of the proposed dwelling for bin storage. 2 metre high timber fencing would be provided to the rear garden, which would be acceptable and would match other fencing in the area. Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards and as such, is a useful guide in this instance. The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between a habitable room window and a two storey blank wall.

The openings within the proposed dwelling would overlook the unadopted street and there would be 19 metres to the pavement. There would be 6 metres from the rear elevation of the proposed dwelling to the rear boundary, which would be considered to be acceptable. Therefore, the proposed development would not have a significantly adverse impact upon the amenity of the neighbouring properties.

Highways issues - The proposed development would be accessed from Snape Street and there would be appropriate levels of visibility. The parking for the proposed dwelling would be provided on land owned by 5 Stanley Road. As such, the width of Snape Street would not be reduced and the existing access arrangements would be maintained for the existing residents. No. 5 Stanley Road would be accessed by the existing driveway from Stanley Road. The Traffic Section has no objections, subject to the inclusion of conditions relating to turning facilities and car parking. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum parking standards is 2 spaces per 3 bed dwelling. This equates to 2 parking spaces for the proposed dwelling. However, the proposed development would need to maintain parking for the existing dwellings (No. 5 Stanley Road and 50, 52, 54 Snape Street).

The proposed development would provide 2 parking spaces for the proposed dwelling, which would be located adjacent to No. 5 Stanley Road. There would be 1 space for each of the properties on Snape Street and these would be located outside the respective properties. No. 5 Stanley Road would utilise the existing driveway from Stanley Street. As such, the level of car parking for the existing dwellings and the proposed dwelling would be acceptable. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

- The issues relating to design, access and parking have been addressed in the above report.
- The issue of access during construction is not a material planning consideration and cannot be taken into consideration.
- The issues of damage to the surfacing would be addressed by a condition.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during pre-application discussions to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

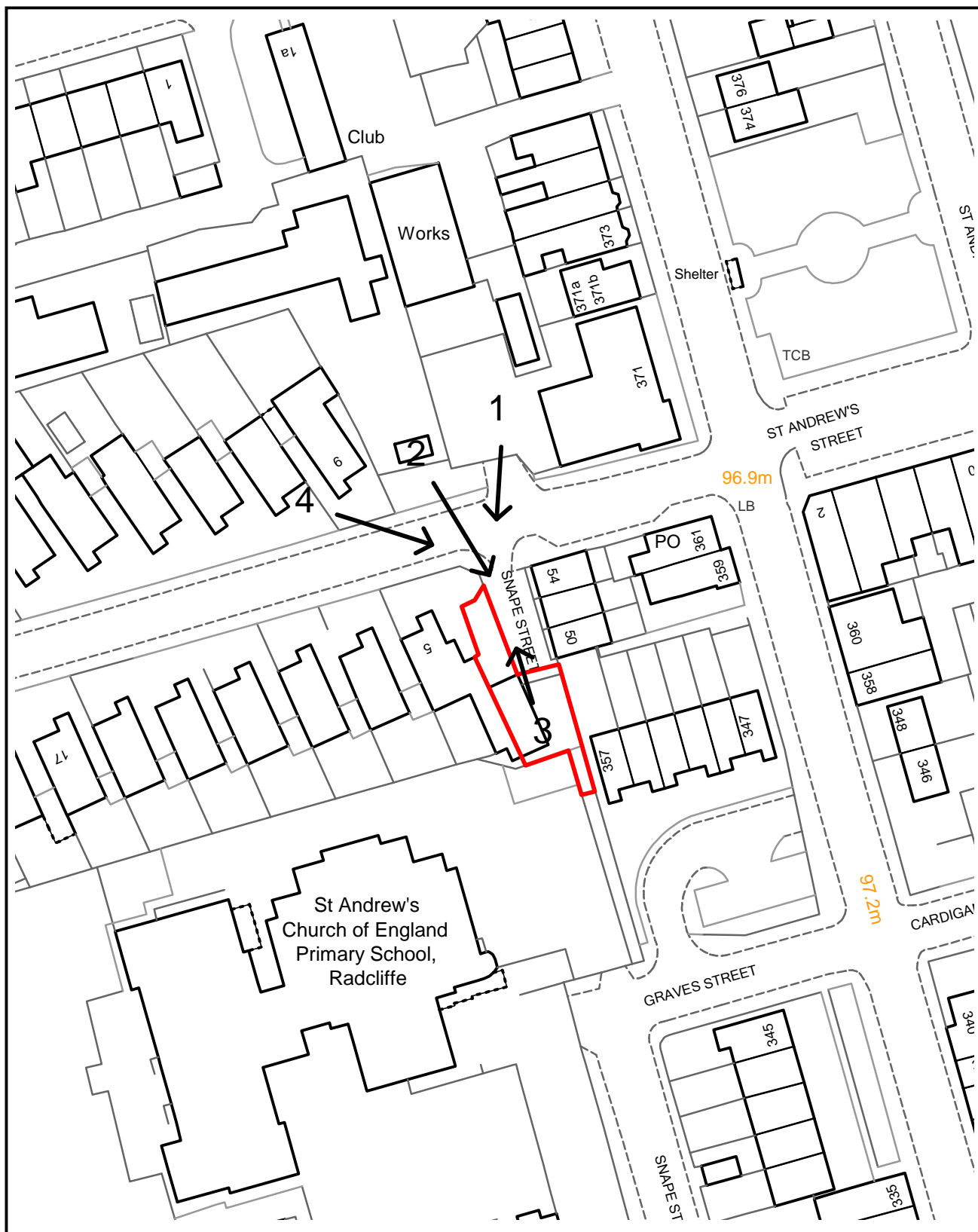
Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to the drawings received on NP2-00 Rev A, NP2-01, NP2-02, NP2-03, NP2-04 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
6. The turning facilities indicated on approved plan reference NP2-02 shall be provided before the dwelling is first occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design.
7. The car parking to be retained for the resident's of Snape Street and to be provided for the new dwelling indicated on approved plan reference NP2-02 shall be surfaced, demarcated and made available for the intended respective uses prior to the dwelling hereby approved being first occupied and thereafter maintained available for the intended respective uses at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
8. No development shall commence unless and until a programme of works, setting out the details and schedule of repair works to the unmade surface and parking spaces to be retained on Snape Street indicated on approved plan reference NP2-02 have been submitted to and approved in writing by the Local Planning Authority. The approved programme of works shall be carried out in full prior to occupation of the dwelling hereby approve.
Reason. To ensure good highway design in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
Policy EN1/2 - Townscape and Built Design.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61613

ADDRESS: Land adjacent to 5 Stanley Road
Radcliffe

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61613

Photo 1



Photo 2

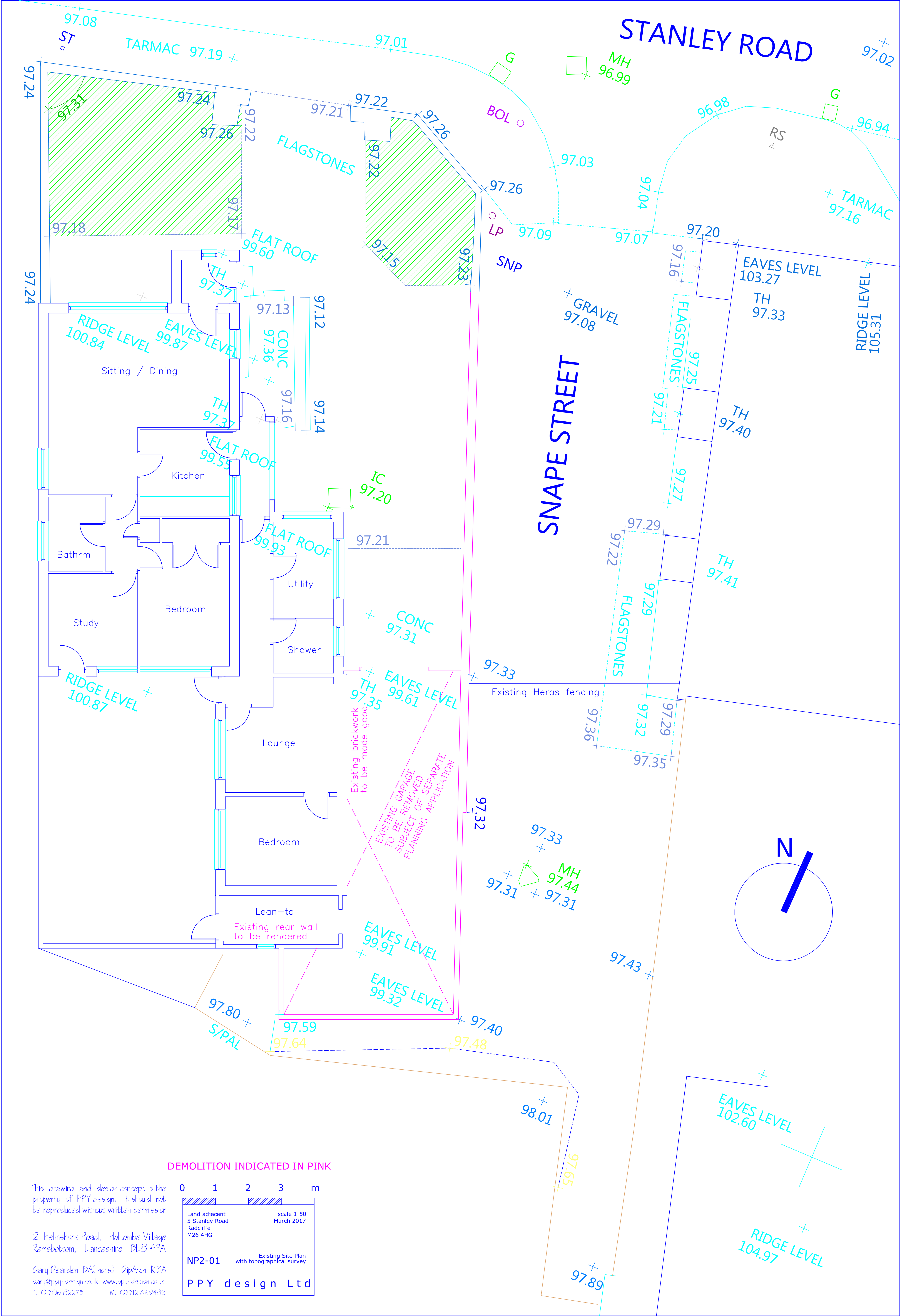


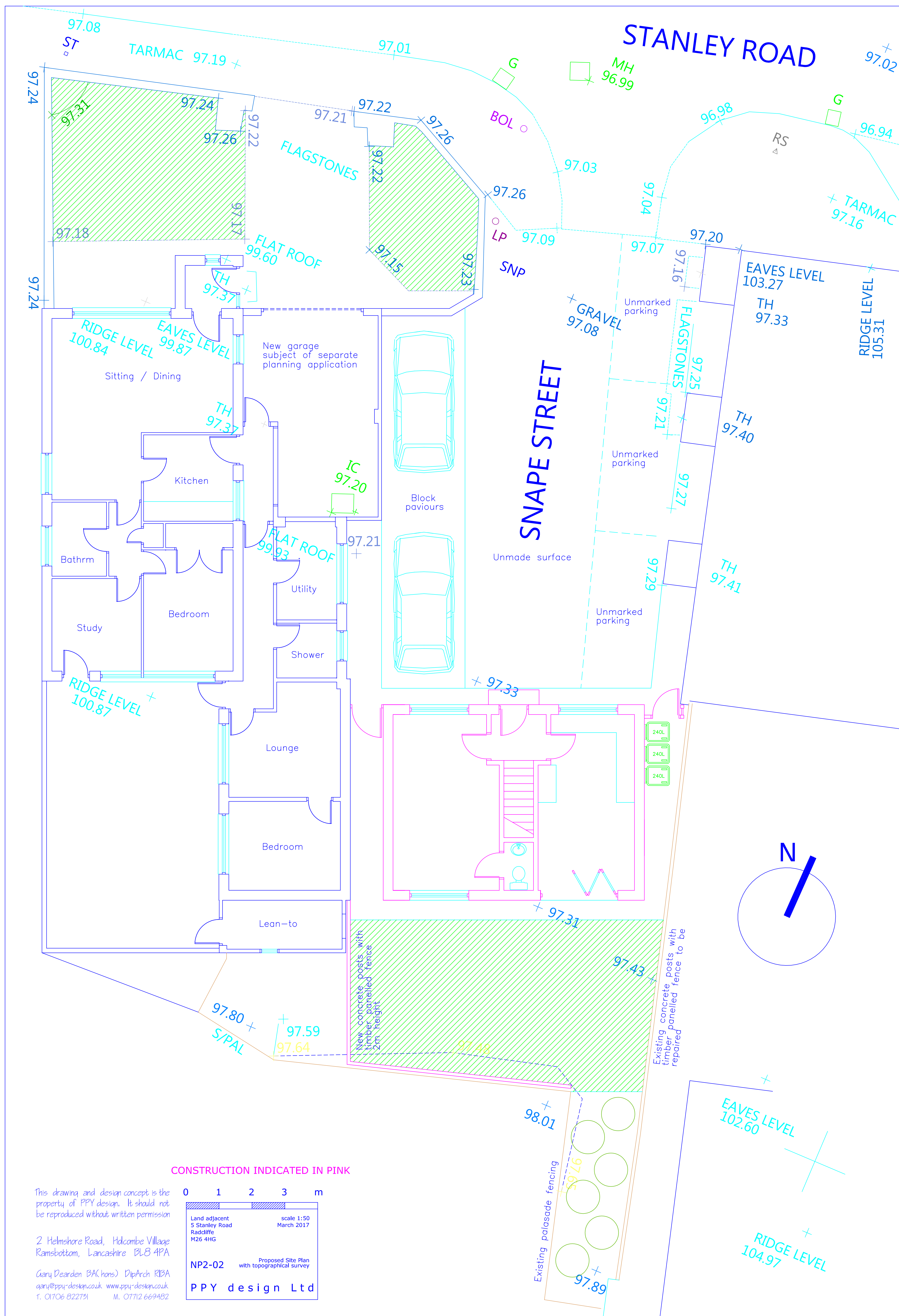
Photo 3

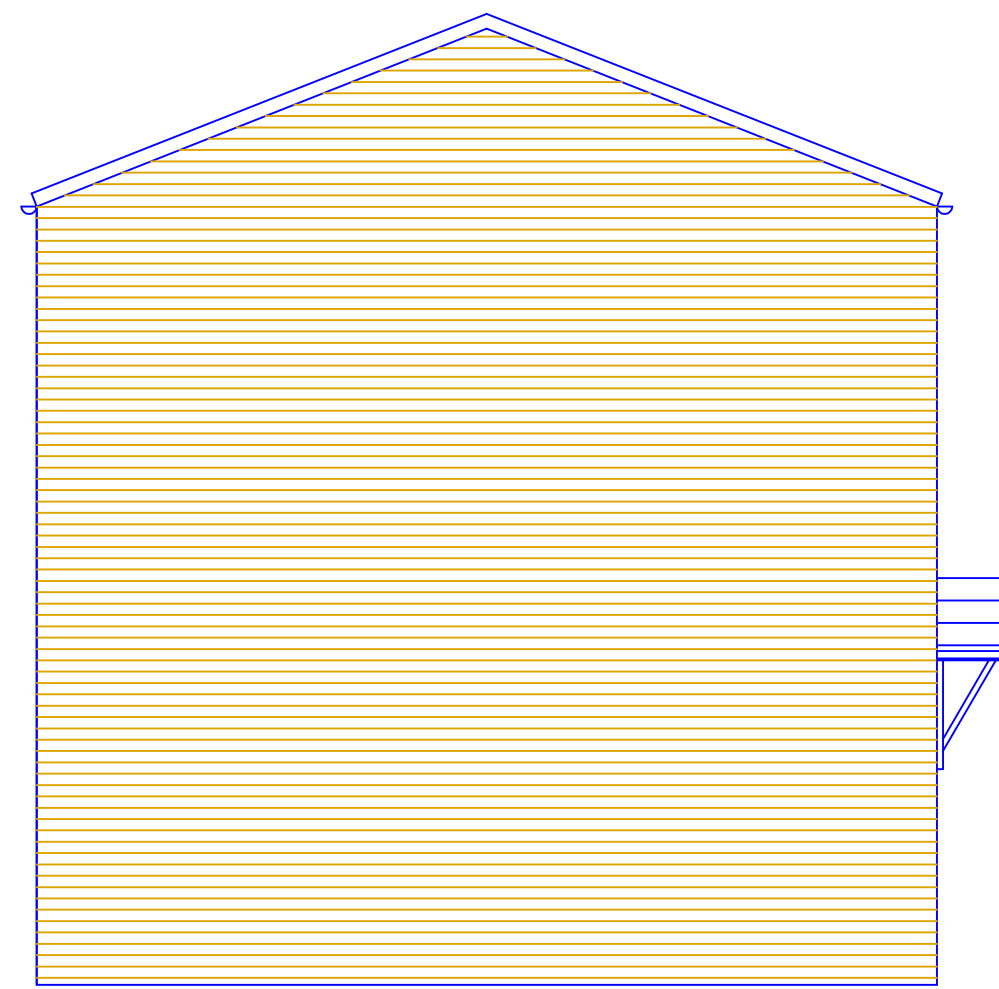


Photo 4

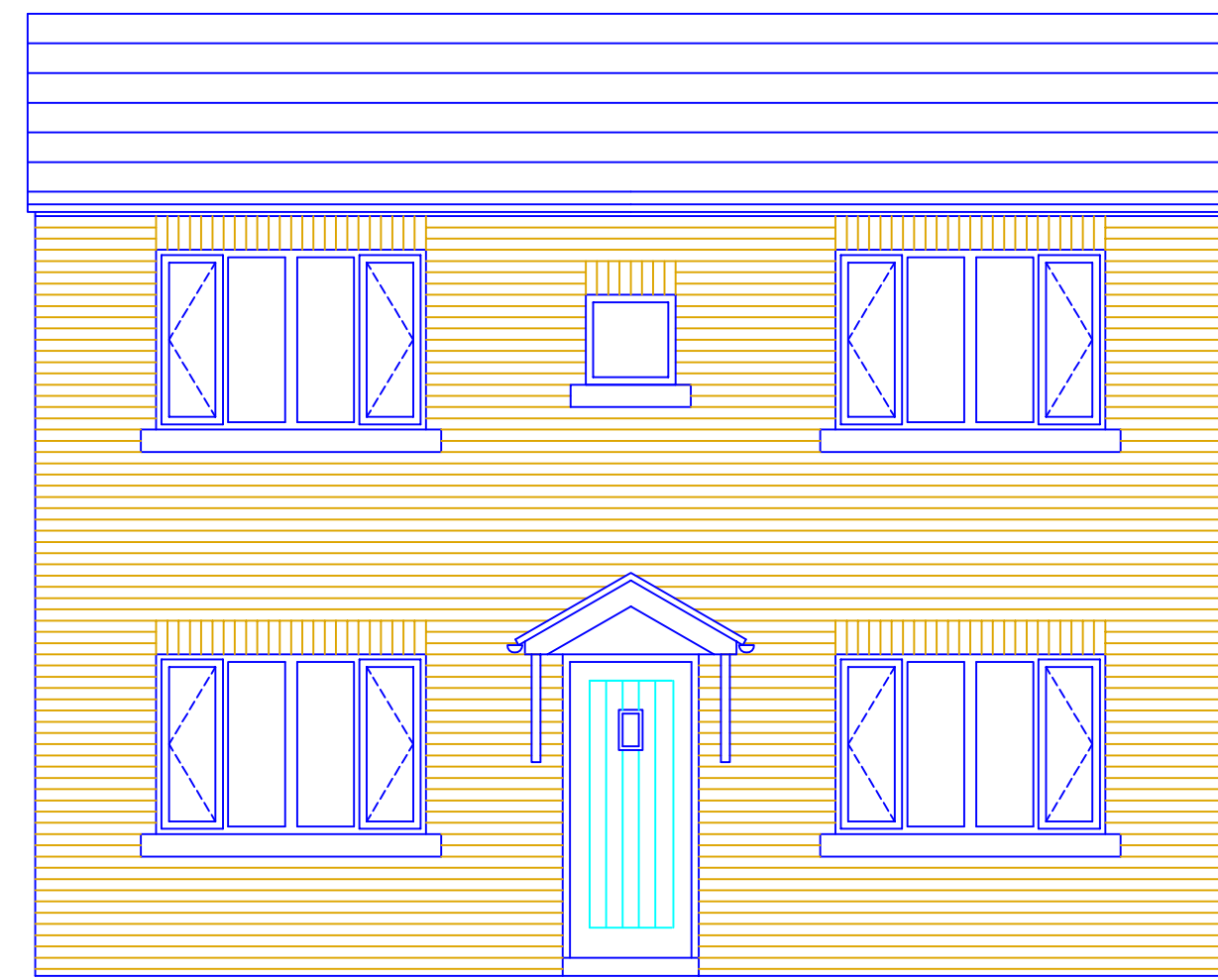




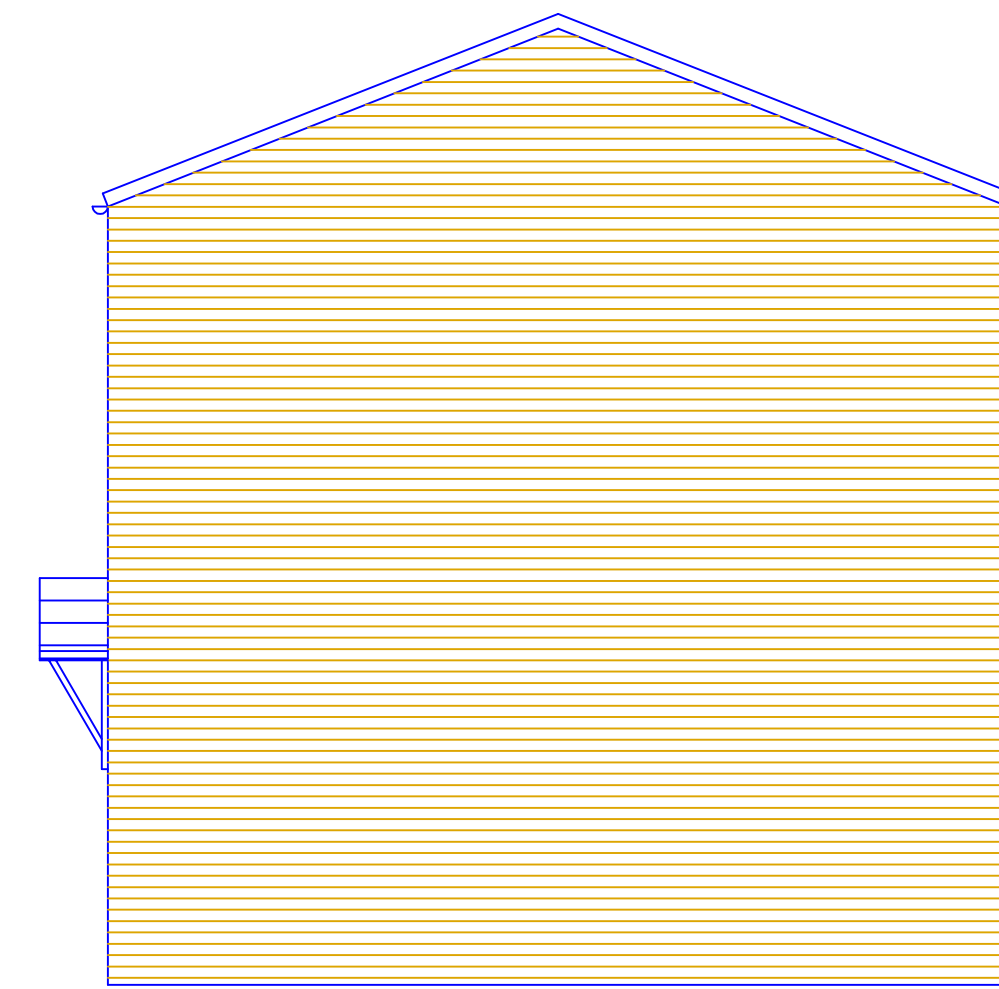




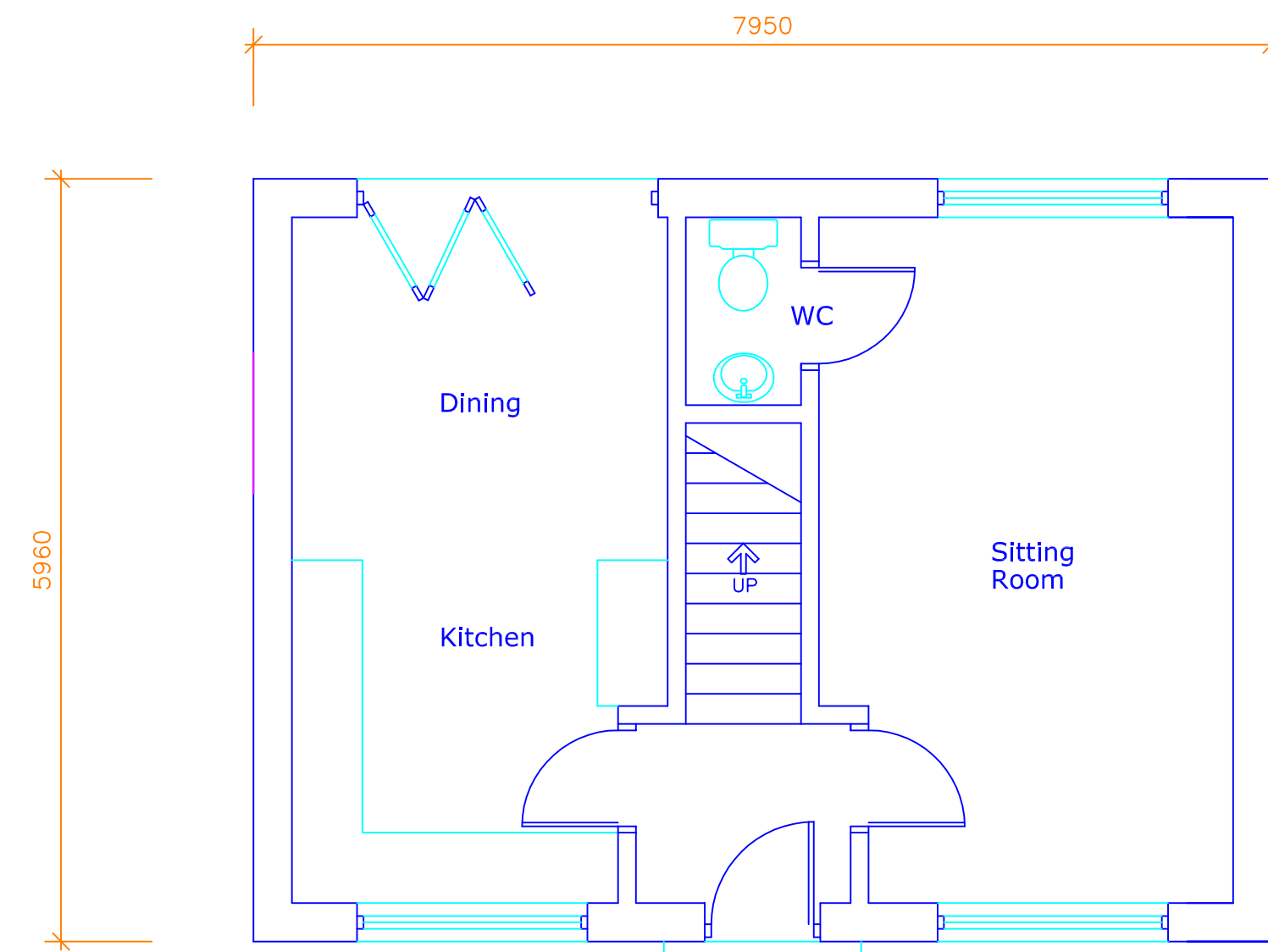
Proposed Side Elevation



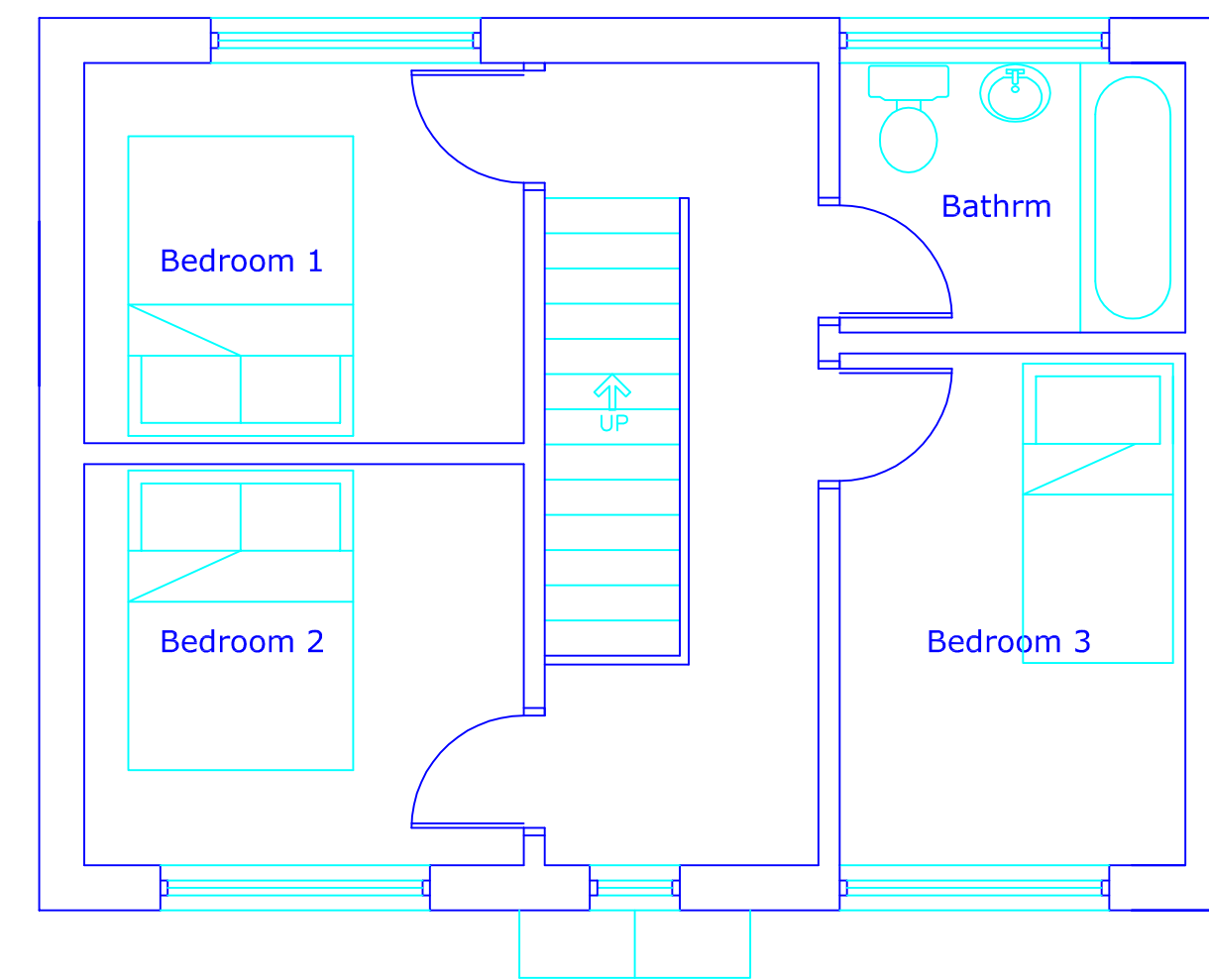
Proposed Front Elevation



Proposed Side Elevation



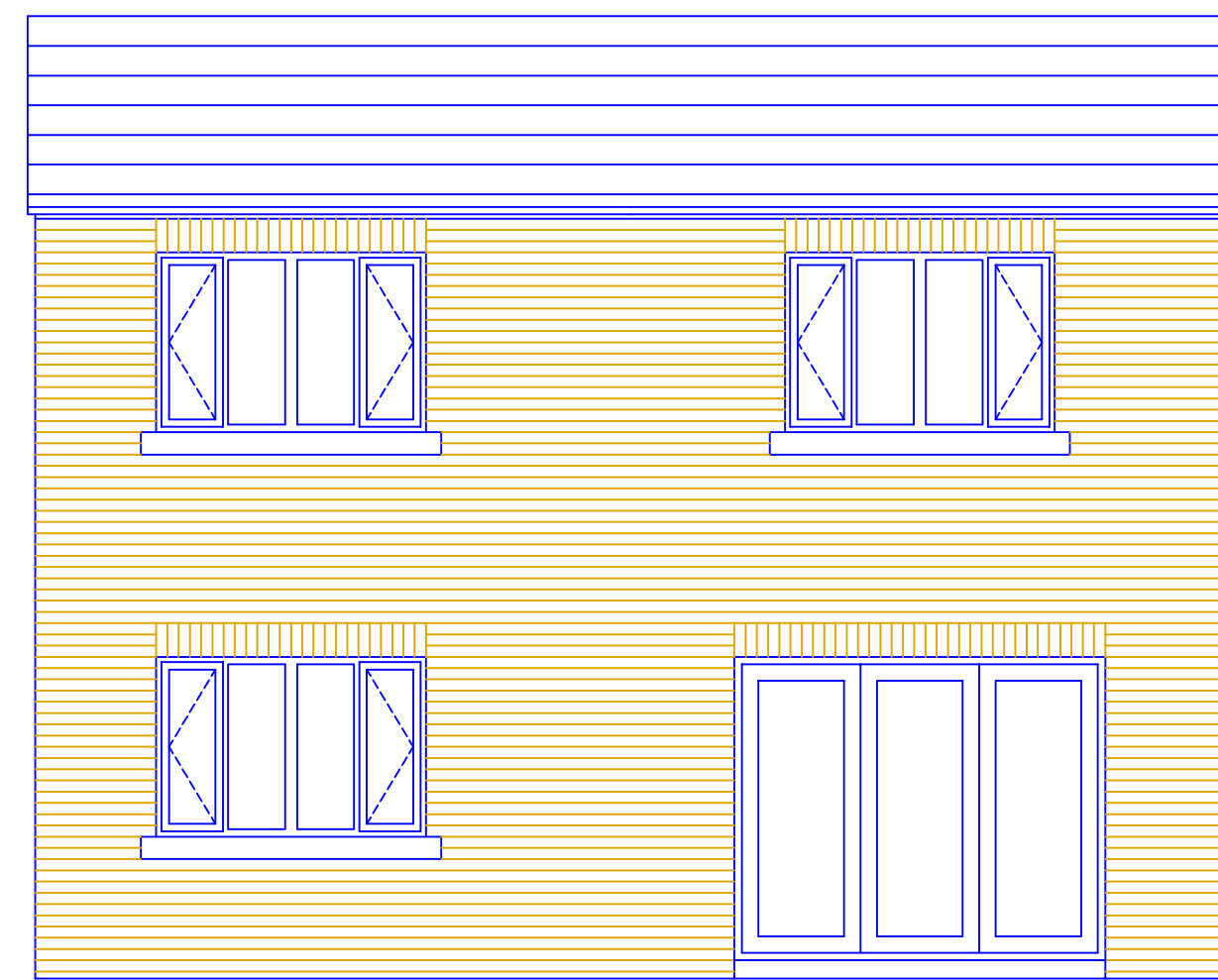
Proposed Ground Floor Plan



Proposed First Floor Plan

Materials:

Buff brick walls to match 5 Stanley Road.
Grey slate roof tiles to match terraces along Snape Street.



Proposed Rear Elevation

This drawing and design concept is the property of PPY design. It should not be reproduced without written permission

2 Helmshore Road, Holcombe Village
Ramsbottom, Lancashire BL8 4PA

Gary Dearden BArchons DipArch RIBA
gary@ppy-design.co.uk www.ppy-design.co.uk
T. 01706 822731 M. 07712 669482

0123m

Land adjacent:
5 Stanley Road
Radcliffe
M26 4HG

scale 1:50
March 2017

NP2-03

Proposed Layout Plans
and Elevations

PPY design Ltd

This drawing and design concept is the property of PPY design. It should not be reproduced without written permission

2 Helmshore Road, Holcombe Village
Ramsbottom, Lancashire BL8 4PA

Gary Dearden BArch(hons) DipArch RIBA
gary@ppy-design.co.uk www.ppy-design.co.uk
T. 01706 822731 M. 07712 669482

0123m

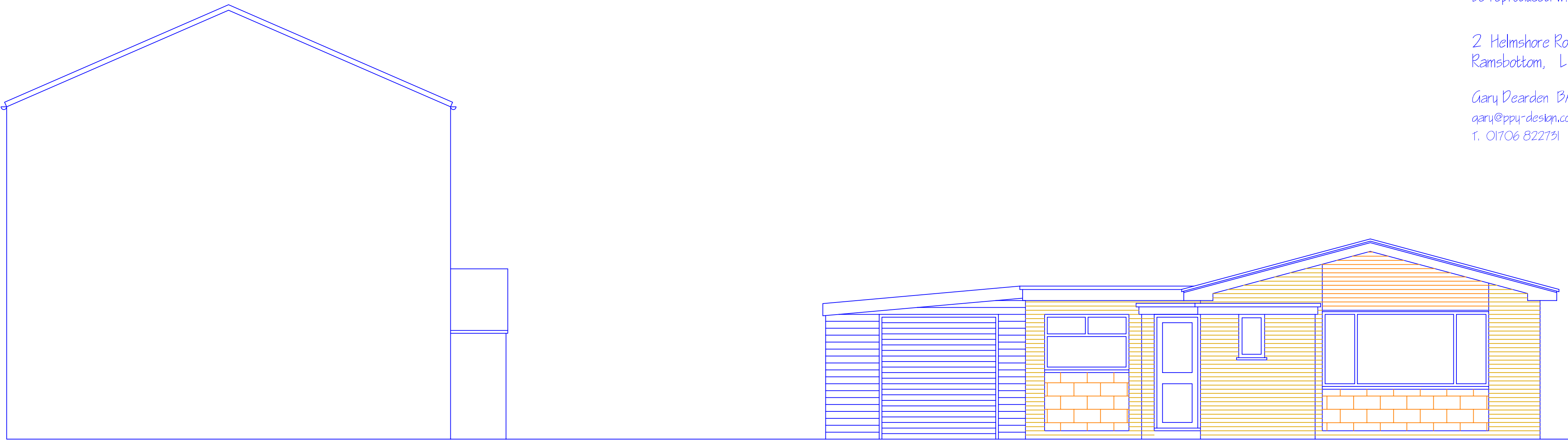
Land adjacent
5 Stanley Road
Radcliffe
M26 4HG

scale 1:50
March 2017

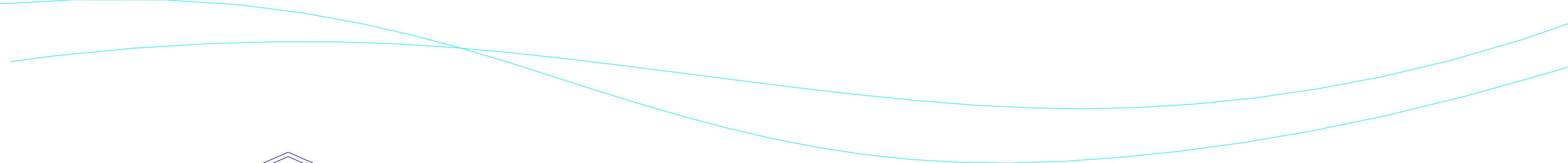
NP2-04

Existing and Proposed
Street Scene

PPY design Ltd



Existing Street Elevation



Proposed Street Elevation

New garage
subject of separate
planning application

Ward: Prestwich - Holyrood

Item 09

Applicant: Mr Cooper

Location: Garage colony at Lilac Grove, Prestwich, M25 3DT

Proposal: Demolition of existing garage colony and erection of 1 no. detached dwelling with detached garage

Application Ref: 61635/Full

Target Date: 16/08/2017

Recommendation: Approve with Conditions

Description

The application is a resubmission following a recent refusal of permission for a two storey detached house in June this year.

The site (0.07ha) is a former garage colony located off the top of Lilac Grove. It is a narrow tract of land between the existing houses on the north side of Lilac Grove and the Coach and Horses pub fronting Bury Old Road. The access would be from the top end of Lilac Grove. The access also serves a single garage at the rear of No.8 Lilac Grove.

It is proposed to site a large 4-bed detached house centrally with a detached double garage in front. The house would be constructed in a conventional design with a hipped tiled roof with red brick walls and reconstituted stone quoins on the corners. It would have a footprint approximately 10.8m by 9.8m, with a ridge height of approximately 6m and an eaves to approximately 4m. The footprint of the garage would measure 5m by 5m with a pitched roof to a maximum ridge height of 4.6m. It would be constructed in brick and tile to match the main house.

The main difference between this scheme and the previously refused scheme is overall height and massing. The refused scheme had a ridge height of just over 8m and an eaves height of just over 5m.

Relevant Planning History

61181 - Demolition of existing garage colony and erection of 1 no. detached dwelling with detached garage/outbuilding - Refused 02/06/2017

Publicity

The following neighbours were notified by letters dated 21/06/17. 1-16 Lilac Grove, 39, 41, 44, 45 Nursery Road, 69, 71 and 73 Bury Old Road

Objections received from 1, 8, 10, 12, 14 and 16 Lilac Grove. Summarised below:

- The house is too big and would be visually intrusive.
- Access and highway safety concerns due to the proximity with the access to the existing nursery and possible conflict with other road users.
- Not wide enough to allow emergency vehicles, bin lorries etc.
- Replacing the existing brick retaining wall with a fence would be inappropriate.
- Land ownership is incorrect.
- Waste collection and Drainage details are lacking and need clarification.

The objectors have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objection in principle.

Drainage Section - No objection.
Environmental Health - No objection.
Waste Management - No objection
Greater Manchester Ecology Unit -No objection.
Metrolink- No objection.
United Utilities - No objection.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
EN5/1	New Development and Flood Risk
EN7/5	Waste Water Management
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/6	Garden and Backland Development
SPD11	Parking Standards in Bury
SPD16	Design and Layout of New Development in Bury
HT2/4	Car Parking and New Development

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - EN1/2 - Townscape and Built Design. The Council will give favourable consideration to proposals which do not have an unacceptable adverse effect on the particular character and townscape of the Borough's towns, villages and other settlements. Factors to be considered when assessing proposals will include:

- a) the external appearance and design of the proposal in relation to its height, scale, density and layout;
- b) the relationship of the proposal to the surrounding area;
- c) the choice and use of materials;
- d) access and other design features for the mobility impaired;
- e) the design and appearance of access, parking and service provision;
- f) landscaping, including the use of natural landscape features, and open space provision;
- g) the use of lighting.

H2/1 - The Form of New Residential Development

All new residential development will be expected to make a positive contribution to the form and quality of the surrounding area. Factors to be considered when assessing proposals will include:

- a) the height and roof type of adjacent buildings;
- b) the impact of developments on residential amenity;
- c) the density and character of the surrounding area;
- d) the position and proximity of neighbouring properties;
- e) the materials to be used in proposed developments, especially their colour and texture.

H2/2 - The Layout of New Residential Development. New residential development will be required to demonstrate acceptable standards of layout. Factors to be considered when assessing proposals will include:

- a) car parking provision;
- b) access for both vehicles and pedestrians, and provision for public transport;

- c) the possible need for traffic calming measures;
- d) density;
- e) space about and between dwellings;
- f) landscaping and screening;
- g) protection/provision of trees and hedgerows;
- h) open space/children's play areas;
- i) design for safety and security;
- j) access/facilities for the disabled;
- k) the existence of any public rights of way.

H2/6 - Garden and Backland Development

The Council will not permit proposals which will result in the loss of private gardens and backland for infill development unless such proposals can be shown not to adversely affect the character and amenity of the area.

When assessing proposals, special regard will be given to:

- a) the concentration of such development in the surrounding area;
- b) the relative density of the proposal to that of the surrounding area;
- c) the impact on neighbouring properties and the local environment;
- d) access arrangements.

Principle - The site is brownfield land lying within the built up area with available infrastructure. There are houses immediately to the south. The proposed house is considered to be acceptable in principle, subject to compliance with other policy considerations. The proposed development would be in accordance with the NPPF and Policy H1/2 Further Housing Development.

Visual amenity - Although the footprint of the proposed house, at just over 100sqm, is the same as the previously refused scheme, it has a lower profile. As such it is considered to be significantly less incongruous than the previously refused scheme.

With the proposed house set down from the level of the adjacent gardens of properties on Lilac Grove by approximately a metre, the side wall of the new house would extend above the top of the boundary wall by about 1.5m, after which the roof is hipped away. With the drop in level, the lower eaves and the hipped roof, the new building, whilst clearly visible over the boundary, would not be overdominant when viewed from the properties on Lilac Grove. The relationship of the new house to No.14 Lilac Grove is shown on the section at the end of this report. In terms of the aspect, situated to the north of the gardens on Lilac Grove, the building would not have a significantly detrimental overshadowing effect.

In terms of its design and appearance, the red brick detached house would not appear particularly out of keeping within the area which is characterised by a mix of building styles, including semi-detached houses, a large public house, a petrol station and detached contemporary designed children's nursery.

The revised proposal is, on balance, acceptable in terms of siting, size and massing and would not have a seriously detrimental impact on visual amenity and would comply with UDP Policies H2/1, H2/2 and H2/6 in relation to new housing development.

Residential amenity - Situated to the north of the houses on Lilac Grove, there would be no serious overshadowing of the neighbouring properties and at a distance of 18m from the corner of the house to the rear elevation of No.14 Lilac Grove, the new house would not be overdominant. There would be no windows directly overlooking the neighbours and aspect standards are exceeded. The revised scheme would not have a seriously detrimental impact on the residential amenity of the neighbours and would comply with UDP Policies H2/1 The Form of Housing Development and H2/6 Garden and Backland Development.

Access, parking and highways - The access point from Lilac Grove is established and considered acceptable. Given that the previous use of the site was as a garage colony with approximately 14 garages, the single dwellinghouse would generate significantly less

traffic along the driveway. The proposed layout indicates a total of four parking spaces, two within a double garage and two on the hardstanding at the front.

The driveway is only a single car width but emergency vehicles would be able to gain access and refuse bins would be collected from the Lilac Grove entrance. The access down the drive to the single garage at the rear of No.8 Lilac Grove would be maintained via the existing private agreement.

Although the revised site plan is not set out on a topographical base, there is sufficient information with regard to the access and parking arrangements and any additional information would be required by an appropriate condition.

The proposal is generally acceptable in terms of access and parking and complies with UDP Policies H2/2 and HT2/4 relating to parking and residential development.

Drainage - There are no detailed drainage plans to consider at this time but a suitable condition would require the submission of a drainage scheme prior to commencement of development. Subject to a suitable scheme, the proposal would be acceptable and comply with UDP Policy H2/2 The Layout of New Residential Development and EN7 Pollution Control.

Permitted Development - Given the nature of the site and in order to protect the amenity of neighbours, it is considered appropriate to remove 'permitted development' rights on the new residential property.

Objections - The material planning objections raised by the objectors on Lilac Grove have been addressed in the above report or through conditions attached to any approval.

With regard to the boundary along the back of the gardens of properties on Lilac Grove, this is not being replaced by a fence but repaired. A new fence on the inside of the wall will be erected but this would not be higher than the existing wall.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 001A, 002, 003, 004, 005, 007, 008, 009, 009, 010, 011, 012, 013, 014 and 015 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details of the materials to be used in the external elevations, boundary wall and

areas of hardstanding, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 Townscape and Built Design.

4. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
5. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

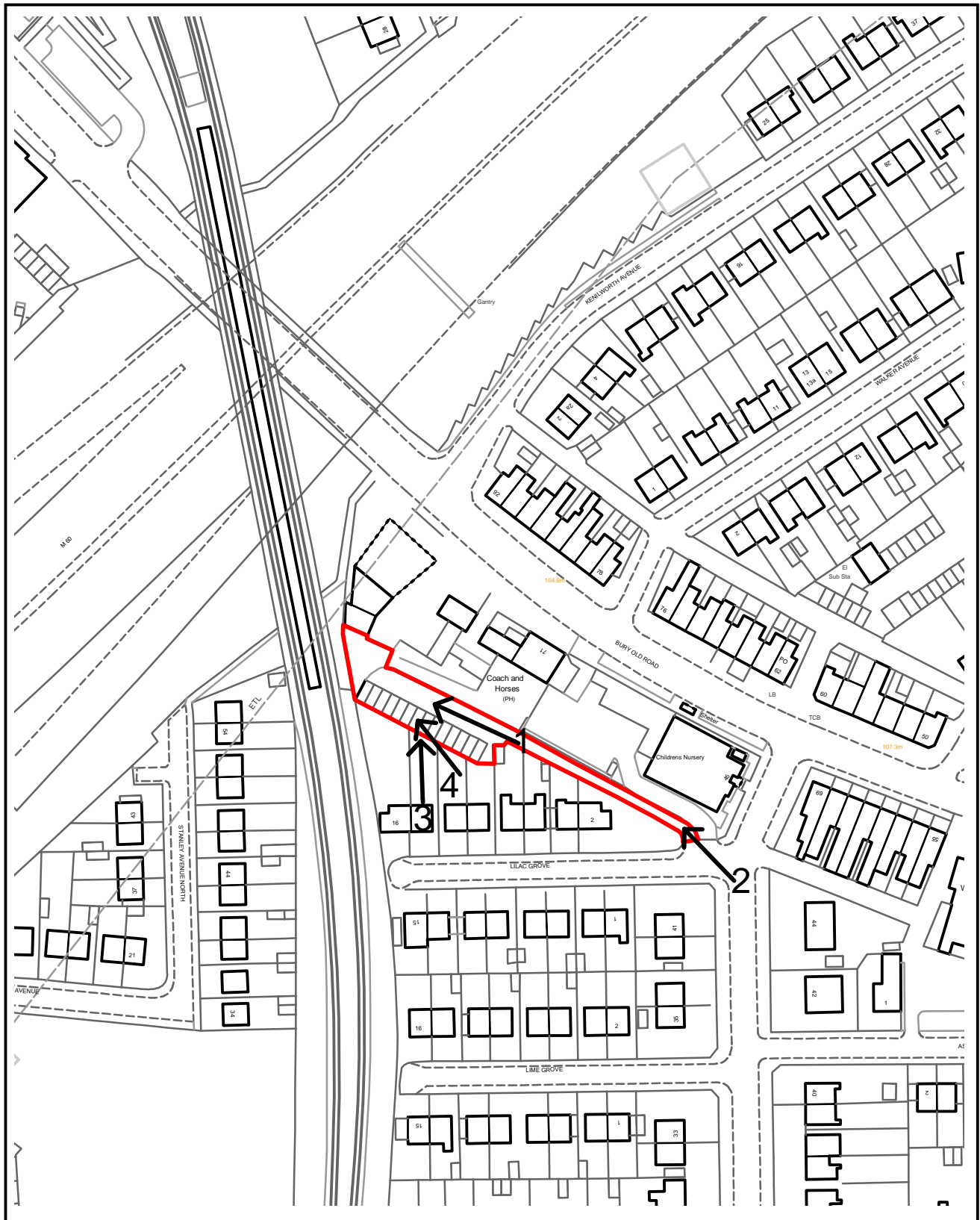
Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
6. Following the provisions of Condition 5 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
7. No development shall commence unless and until surface water drainage proposals have been submitted to and approved in writing by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 10 - Meeting the challenge of climate

change, flooding and coastal change of the NPPF.

8. Prior to the commencement of development, details relating to the proposed boundary treatment for the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details only shall be implemented as part of the approved development.
Reason - To secure the satisfactory development of the site and in the interests of the visual amenities of the area pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
8. No development approved by this permission shall be commenced until details of the existing and proposed floor levels have been submitted and approved by the Local Planning Authority. The scheme shall be constructed and completed in accordance with the approved details.
Reason: Details have not been submitted and to ensure that the development does not have a detrimental impact on neighbours caused by any increase in the height of the land pursuant to UDP Policies H2/1 The Form Of New Residential Development.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61635

**ADDRESS: Garage Colony at Lilac Grove
Prestwich**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61635

Photo 1



Photo 2



61635

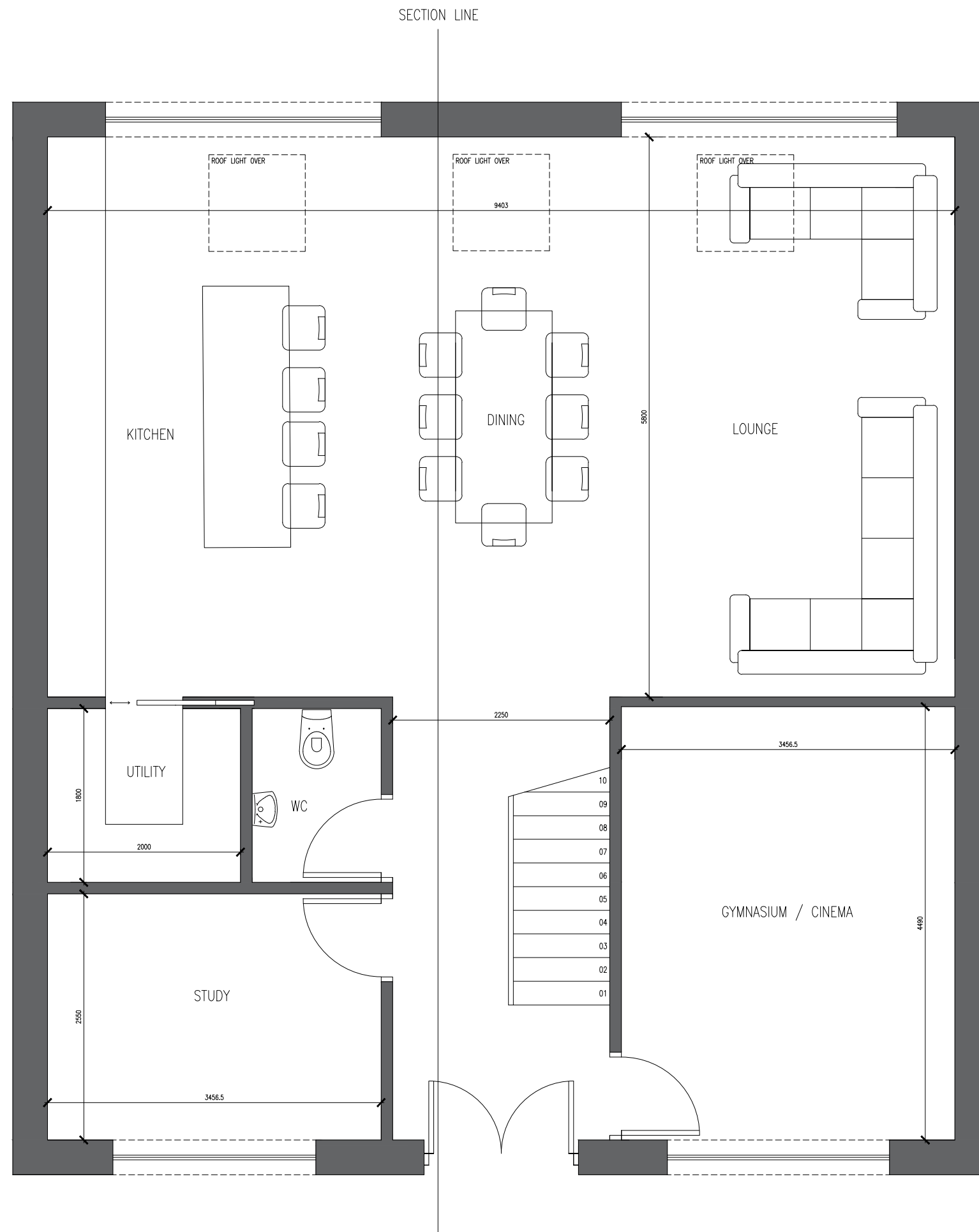
Photo 3

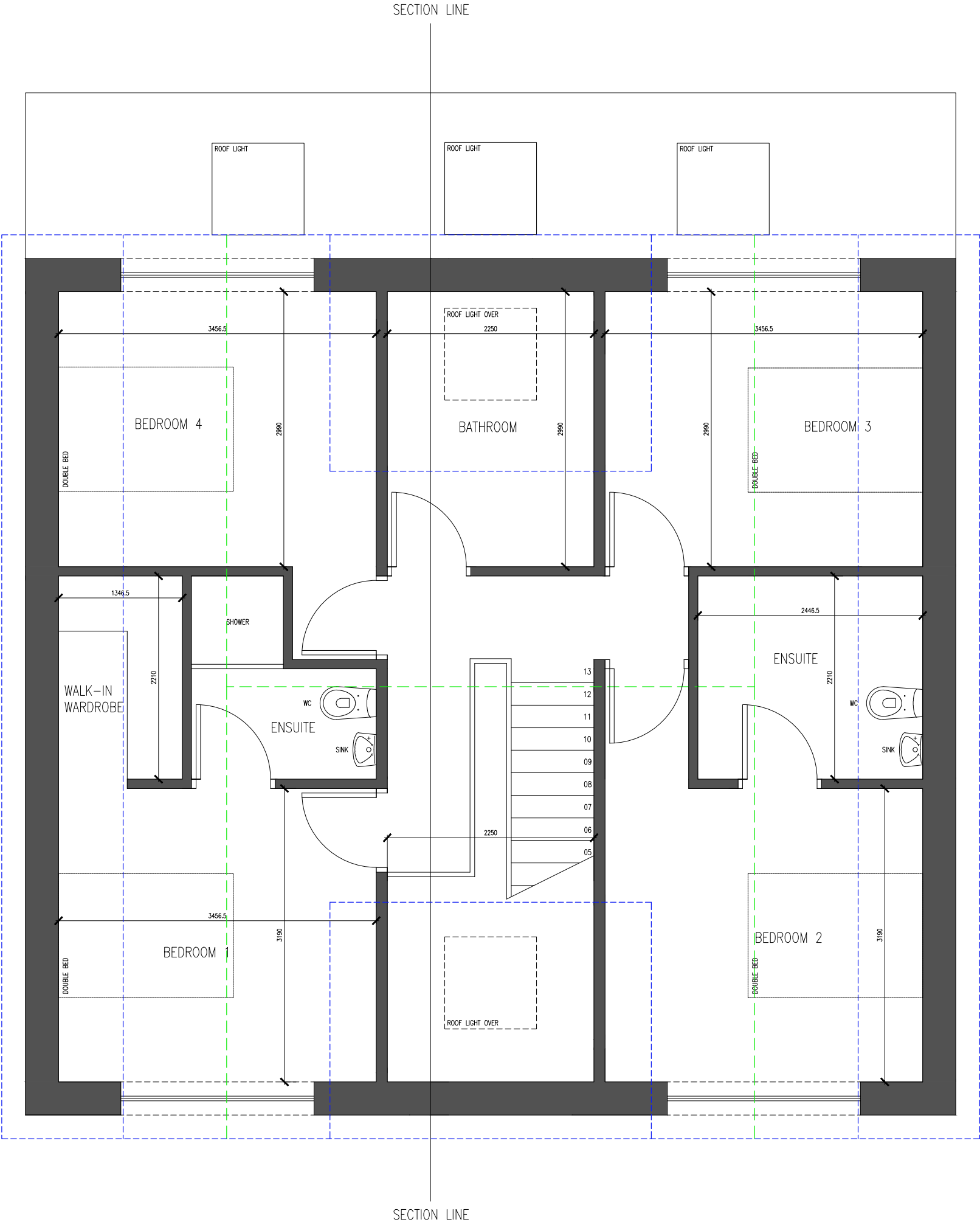


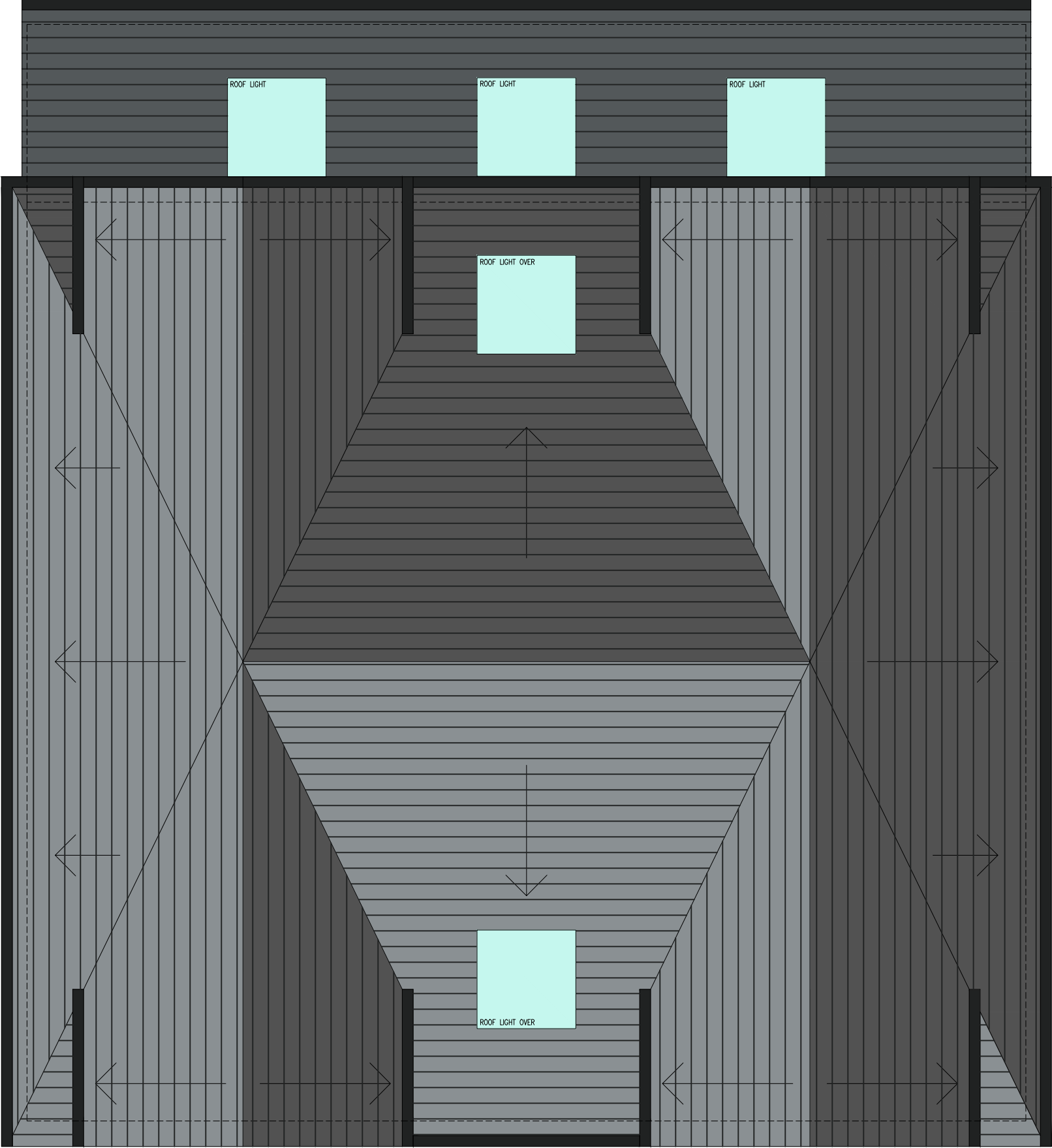
Plan 4











I
SECTION LINE

SECTION LINE



SITE TO REAR OF LILAC GROVE, MANCHESTER, M25 3DT

008 PROPOSED FRONT ELEVATION

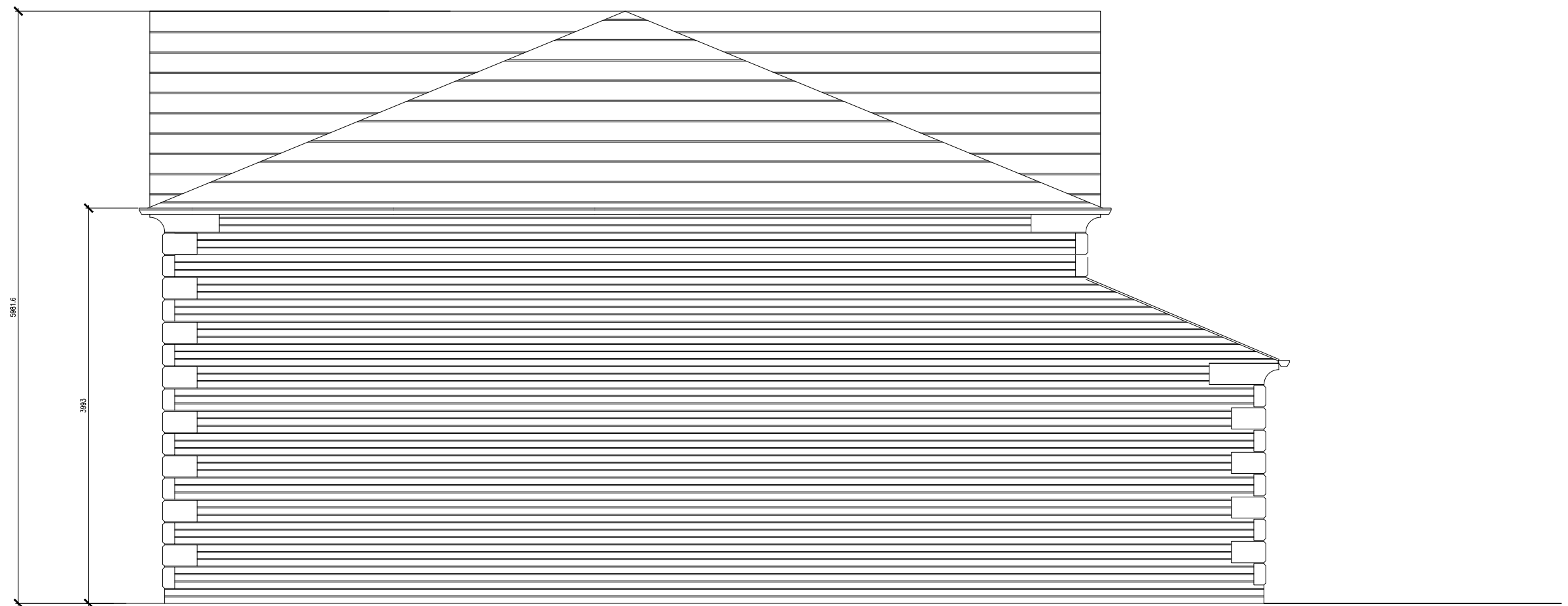
SCALE 1:50 @ A3



SITE TO REAR OF LILAC GROVE, MANCHESTER, M25 3DT

009 PROPOSED REAR ELEVATION

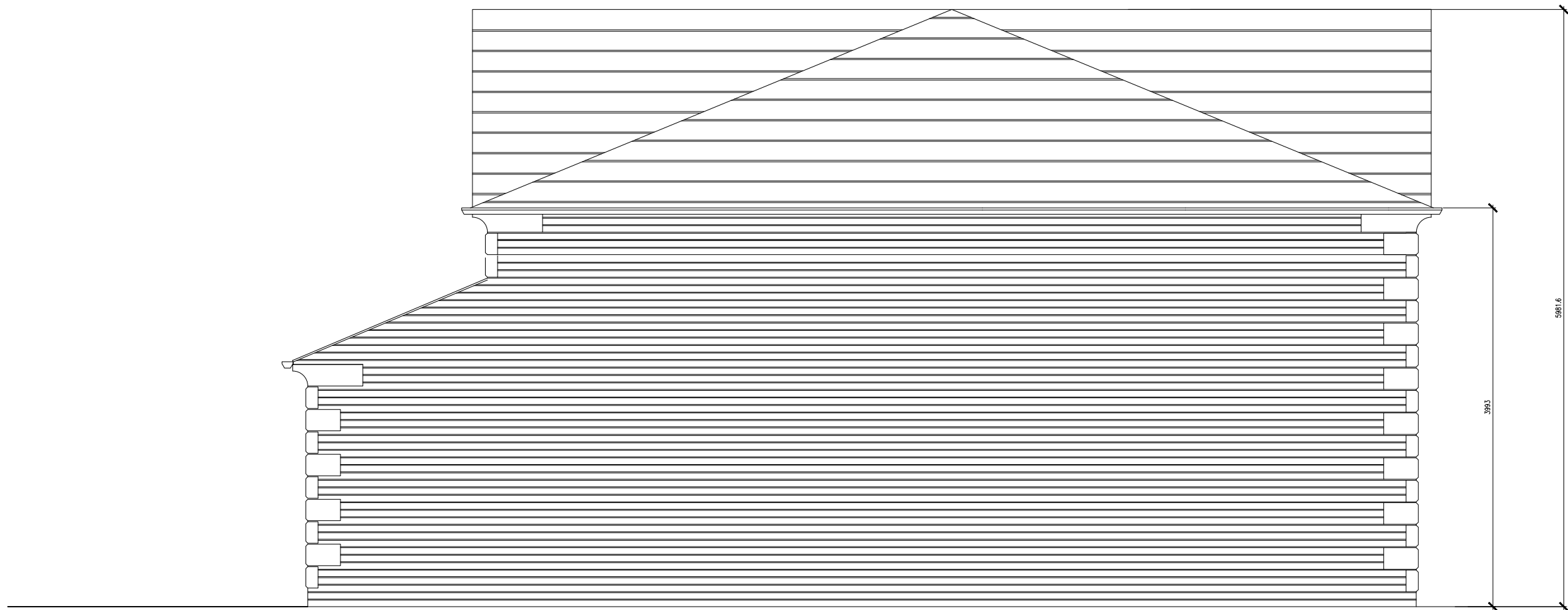
SCALE 1:50 @ A3



SITE TO REAR OF LILAC GROVE, MANCHESTER, M25 3DT

011 PROPOSED SIDE (SOUTH) ELEVATION

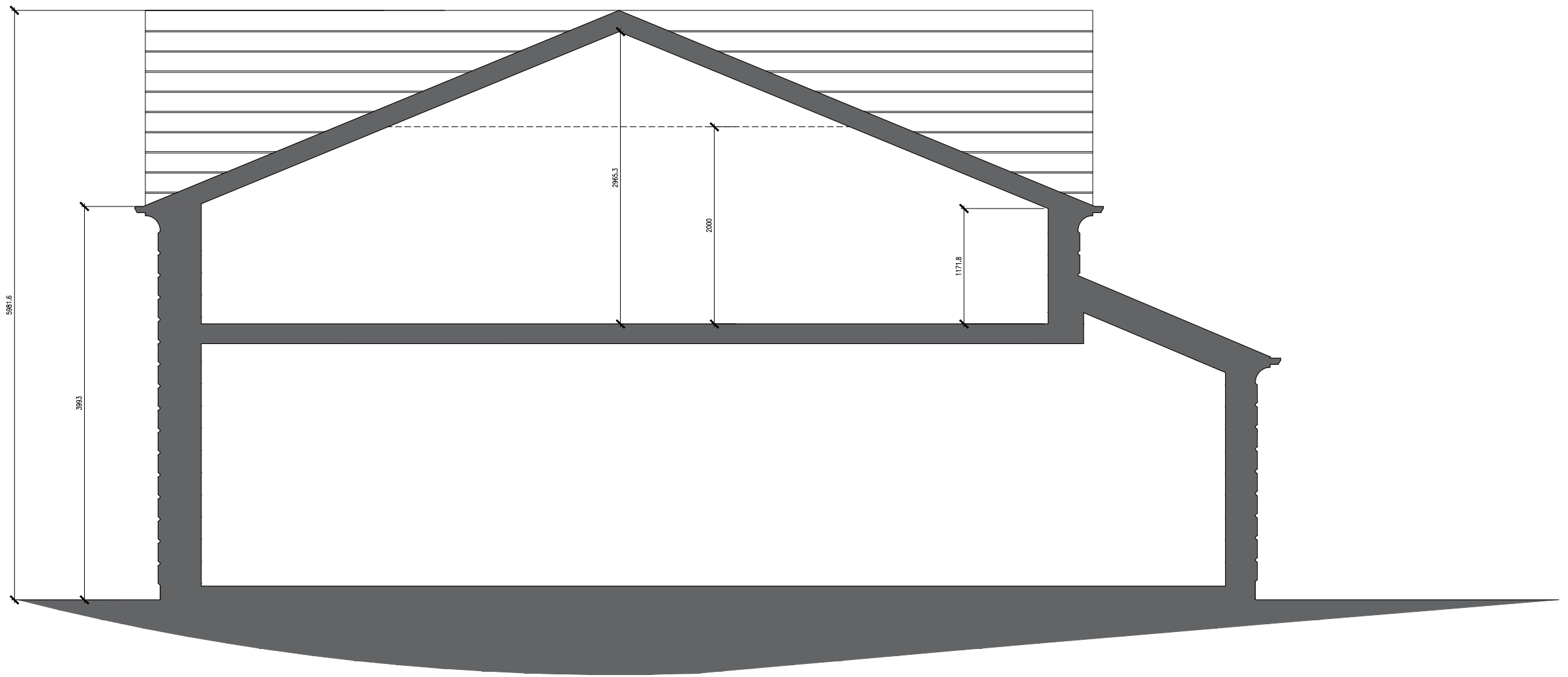
SCALE 1:50 @ A3



SITE TO REAR OF LILAC GROVE, MANCHESTER, M25 3DT

010 PROPOSED SIDE (NORTH) ELEVATION

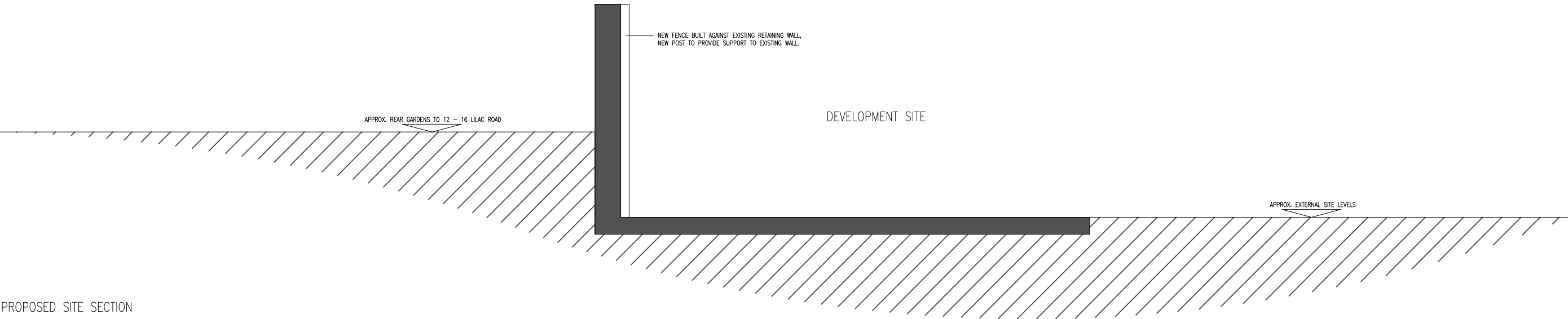
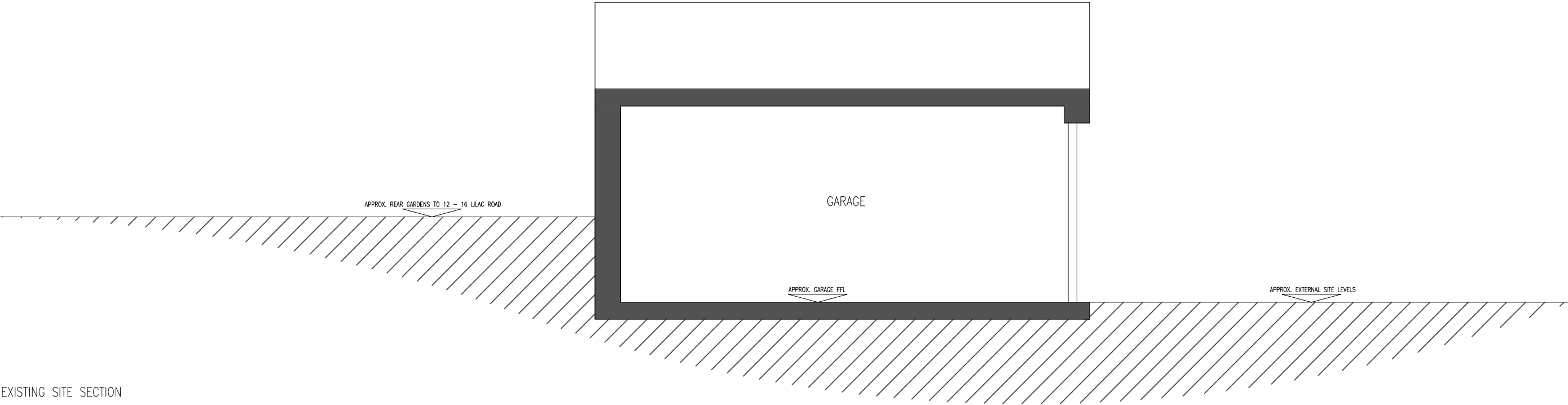
SCALE 1:50 @ A3



SITE TO REAR OF LILAC GROVE, MANCHESTER, M25 3DT

012 PROPOSED SECTION

SCALE 1:50 @ A3

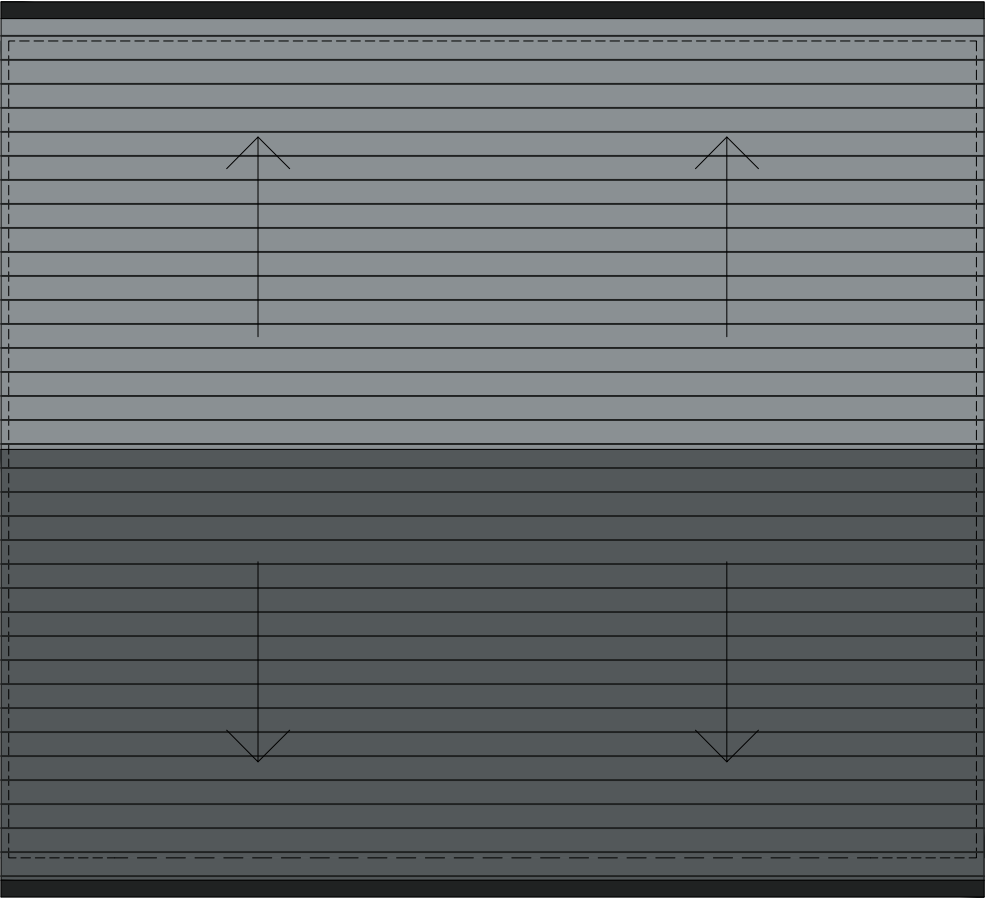


No.14 Lilac Grove

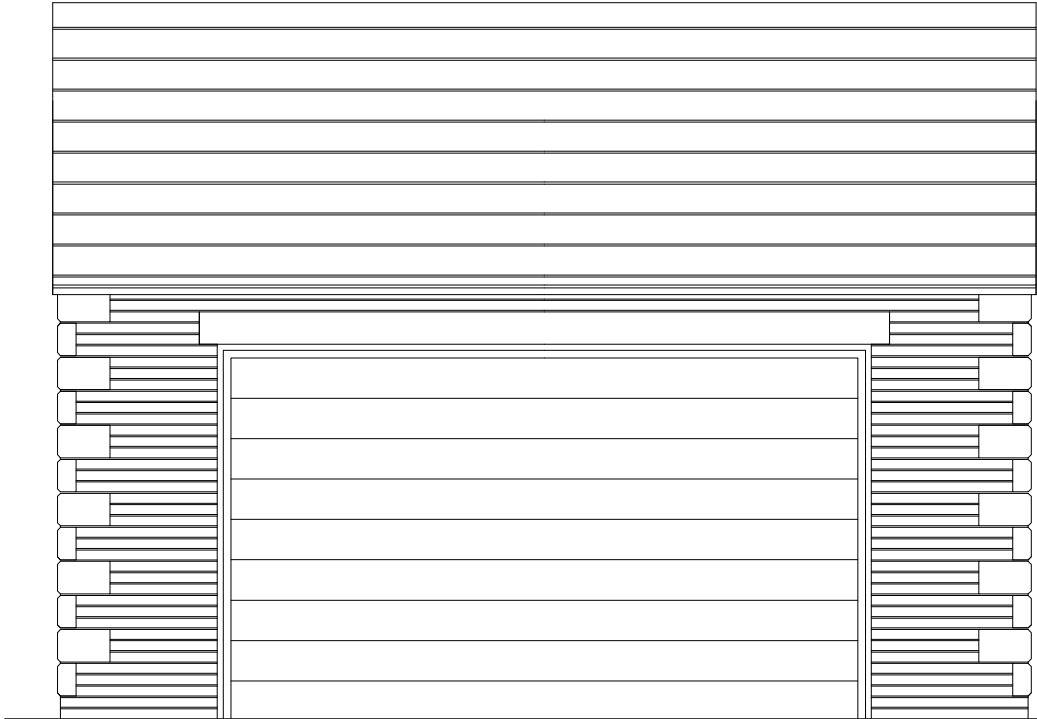
Site Section

Proposed house

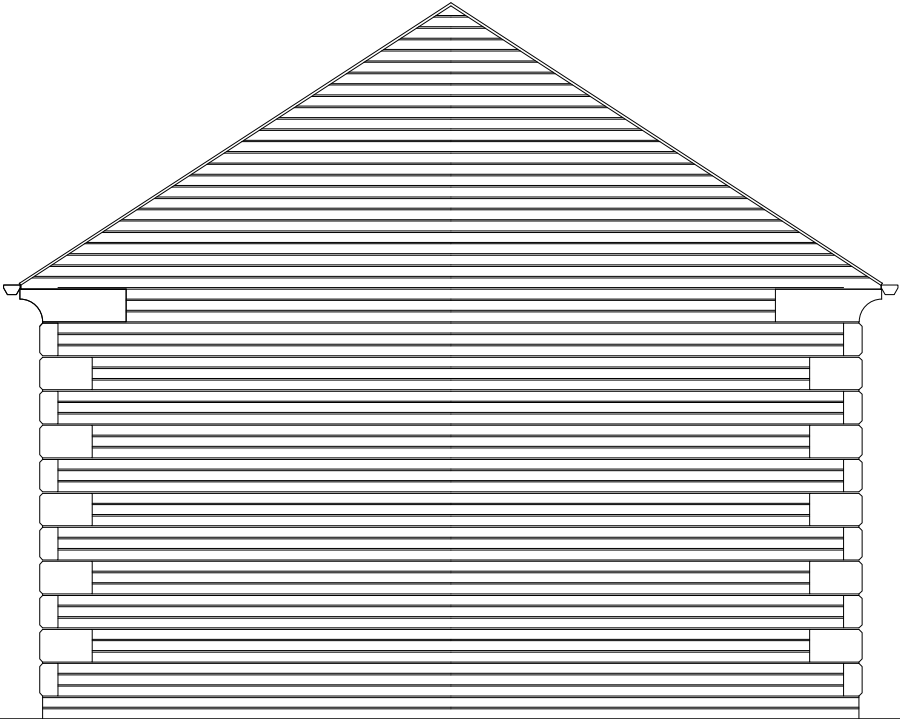
boundary
wall



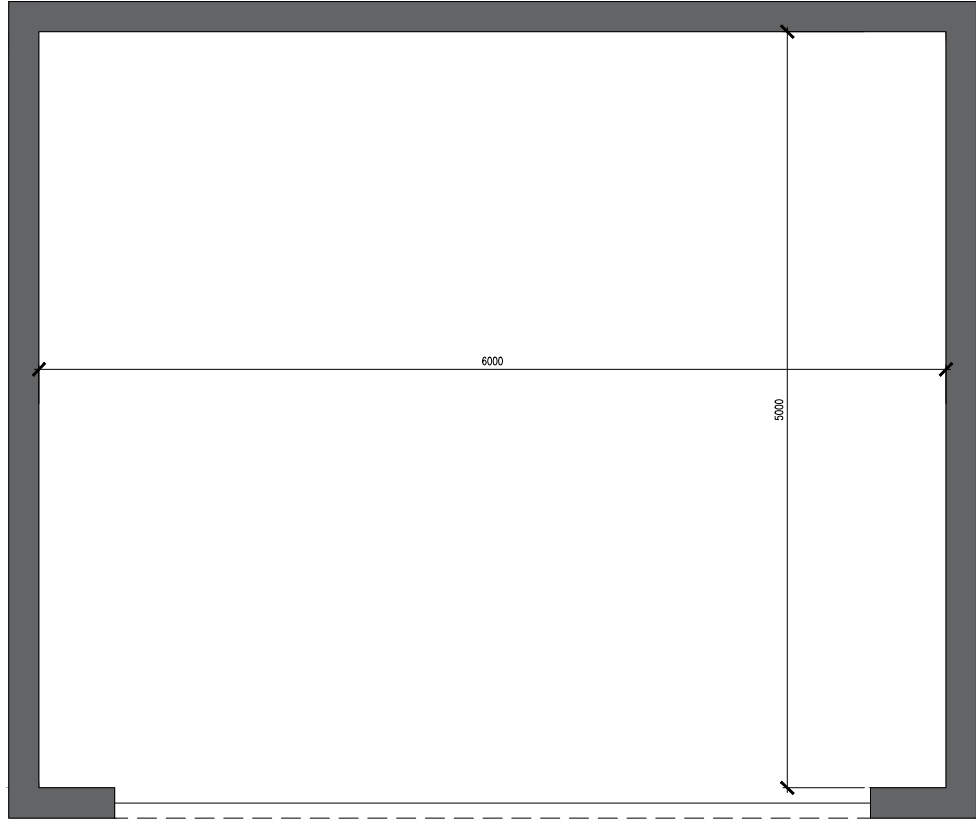
ROOF PLAN



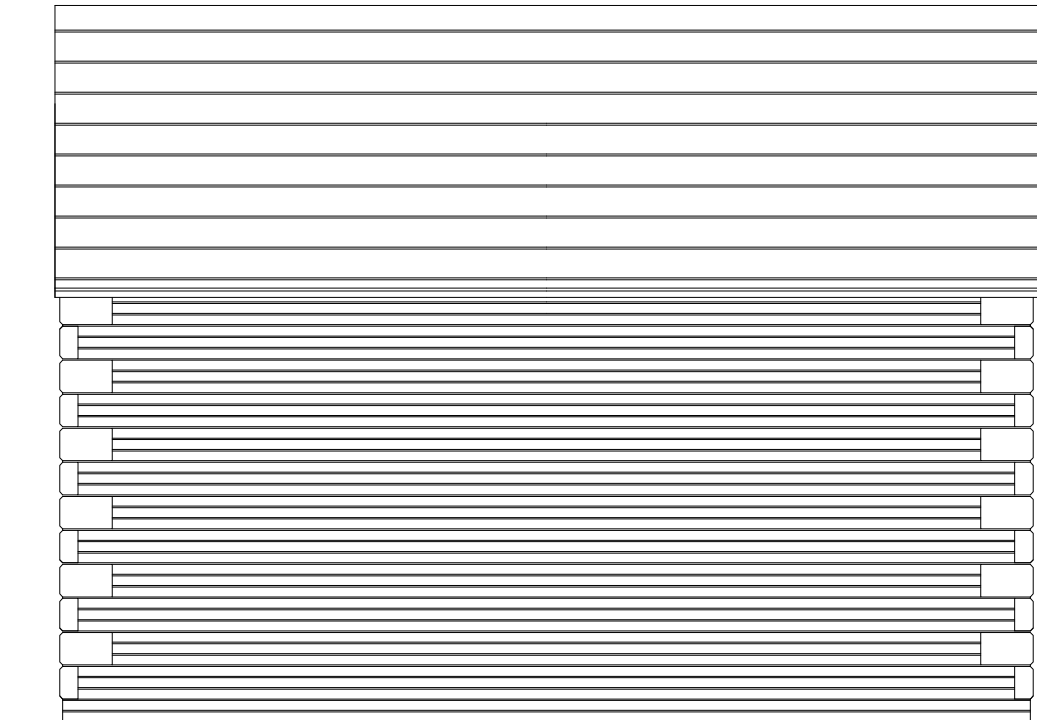
FRONT ELEVATION



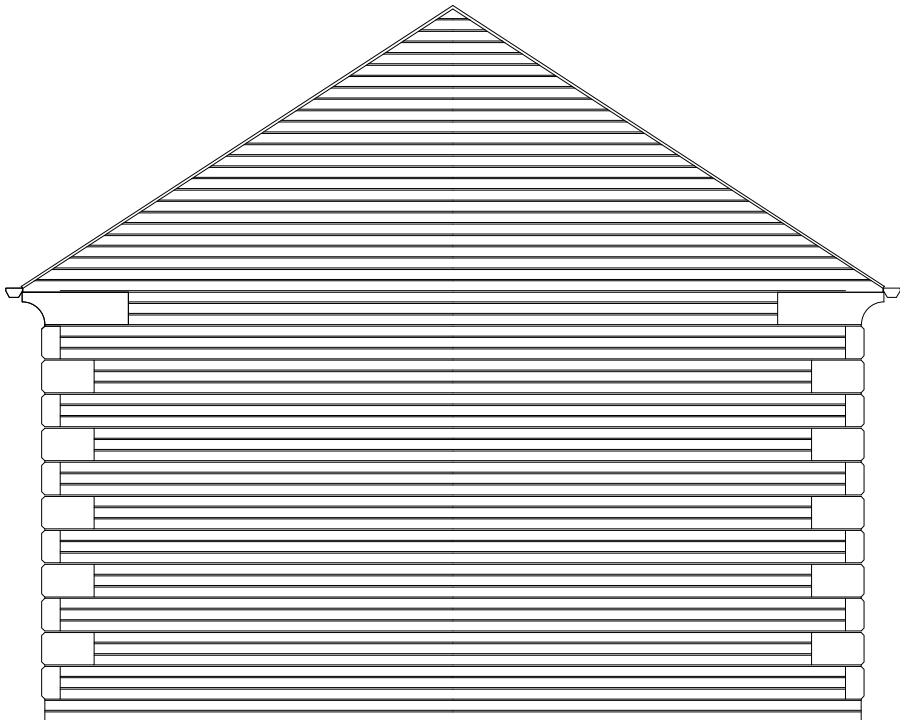
SIDE ELEVATION



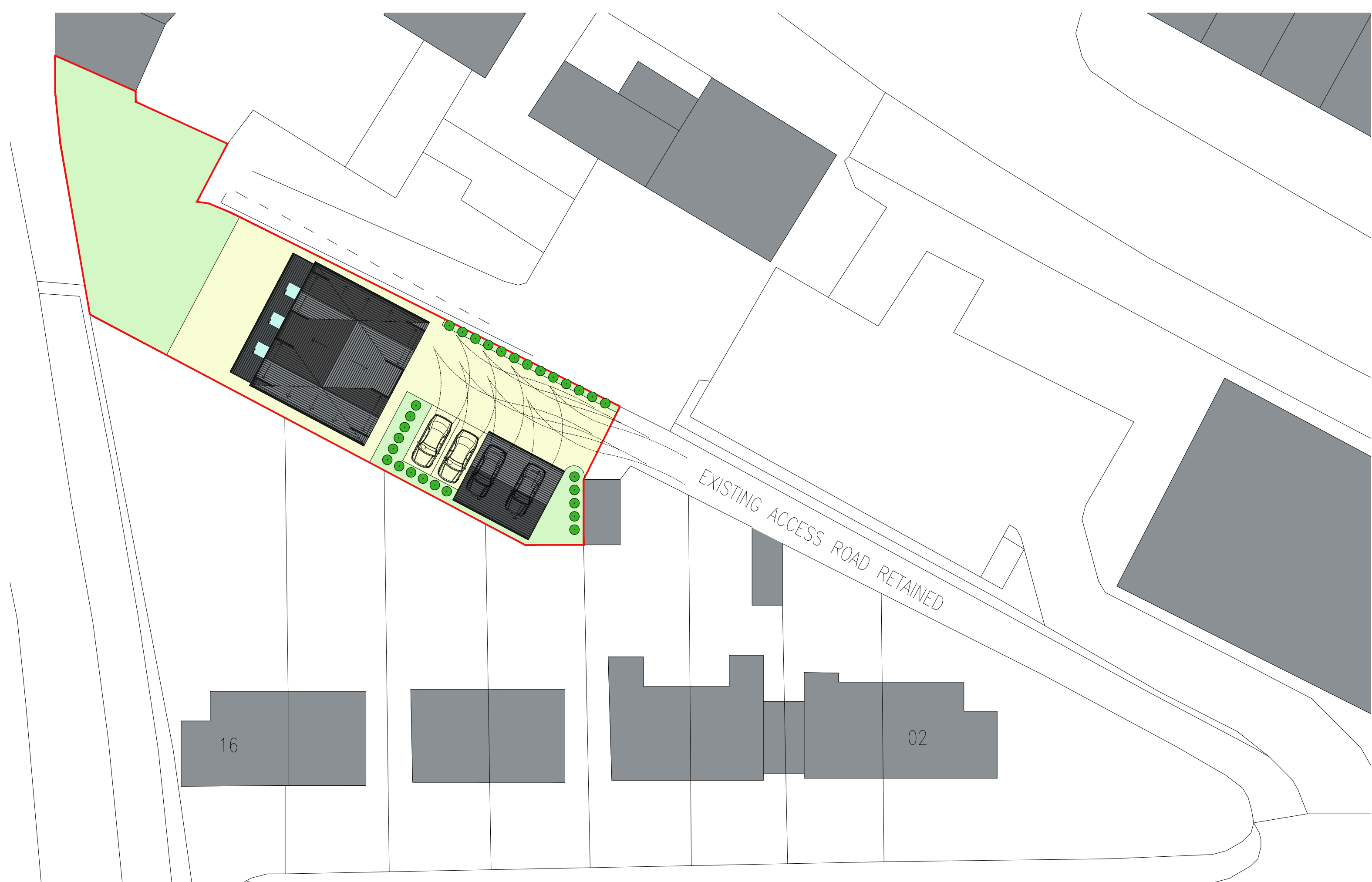
GROUND FLOOR PLAN



REAR ELEVATION



SIDE ELEVATION



Full perimeter of site to have a 2 meter closed slat timber fence installed.

SITE TO REAR OF LILAC GROVE, MANCHESTER, M25 3DT

003 PROPOSED SITE PLAN

SCALE 1:250 @ A3

Ward: Bury East - Moorside

Item 10

Applicant: Mr Shimon Rudich

Location: Church Inn, 81 Bell Lane, Bury, BL9 6BB

Proposal: Change of use from public house (Class A4) to 4 no. residential apartments (Class C3)

Application Ref: 61677/Full

Target Date: 23/08/2017

Recommendation: Approve with Conditions

Description

The application site relates to a former public house, which is located at the junction of Bell Lane and Bright Street. The pub is two storeys in height and is constructed from stone to the front and gable elevation with brick to the rear elevation and a slate roof. There is a rear yard, which is accessed from Bright Street via timber gates.

There is a bathroom showroom to the west of the site with a car garage and showroom beyond. There is a pub car park and residential properties to the south and a car showroom and garage to the east. There is a small commercial unit to the north and further industrial buildings beyond.

The proposed development involves the conversion of the former pub to 4 apartments. There would be a three bed and a 1 bed apartment on the ground floor and a 1 bed and 2 bed apartment on the first floor. The first floor apartments would be accessed from a door in the gable elevation and the only external alterations would be new windows in the rear elevation. No parking would be provided and bin storage would be in the rear yard.

Relevant Planning History

35738 - Alterations and extension into adjacent cottage at Church Inn, Bell Lane, Bury. Approved with conditions - 24 September 1999.

01975/E - Conversion of former public house to 4 no. apartments at Church Inn, Bell Lane, Bury. Enquiry completed - 16 May 2017.

Publicity

The neighbouring properties were notified by means of a letter on 29 June 2017.

1 letter has been received from the occupiers of 76 Bell Lane, which has raised the following issues:

- Where would the proposed parking be?

The objector has been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of condition relating to bin storage.

Drainage Section - Comments awaited.

Environmental Health - Pollution Control - Comments awaited.

Waste Management - Comments awaited.

United Utilities - Comments awaited.

Unitary Development Plan and Policies

H1/2 Further Housing Development

H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/4	Conversions
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Strategy on 20 May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site would be located within the urban boundary and would be surrounded by commercial properties. As such, the proposed development would not conflict with the surrounding land uses and would be in a sustainable location with good access to public transport and services. The site contains a detached building and is previously developed land. As such, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The existing building is two storeys in height and access to the first floor apartments would be taken from the existing door in the gable elevation. The proposed development would utilise the existing openings and doors. The proposed new openings would be located in the rear elevation and the side elevation of the rear outrigger and would match the existing openings in terms of size and form. As such, the proposed development would not be a prominent feature in the streetscene.

The rear yard would provide a suitable level of amenity space and would provide space for bin storage. The existing boundary walls and fencing would be retained. Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - Whilst there are no set standards in terms of separation distances between newly built properties and existing dwellings, SPD6 is used as a guide to assess relationships and aspect standards between properties and new built development.

There would be 15 metres between the proposed site and the car park opposite, which would comply with the aspect standards. There would be 8.2 metres from the proposed rear elevation to the blank gable of the adjacent building and there would be 6.8 metres between the side elevation and the commercial unit. Whilst these distances would be below the aspect standards, the sub optimal aspects do not impact upon surrounding properties and they would be no worse than the existing relationship. In addition, any prospective resident would be aware of this prior to moving in. Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties.

Ecology - At pre-application stage, the only potential ecological constraints identified were nesting birds and roosting bats. As the proposed development is a conversion with no significant changes to the proposed elevations, roof height and loft space, no ecological surveys would be required. GM Ecology Unit confirmed at pre-application stage that there would be no objections to the proposal, subject to the inclusion of a condition relating to bats. Therefore, the proposed development would not cause harm to a protected species and would be in accordance with Policy EN6/3 of the Bury Unitary Development Plan and the NPPF.

Highways issues - The proposed development would provide a bin store and it is envisaged that the bins would be moved to the gate on collection days. The Traffic Section has no objections, subject to the inclusion of a condition relating to bin storage.

Given the location of the building, it is not possible to provide off-street parking for this development. The last use of the building was as a pub, which would generate more parking demand than the proposed use of 4 apartments. In addition, the pub would benefit from permitted development to change the use of the building and these permitted changes would generate significantly more parking demand than the proposed use of 4 apartments. On this basis, it is considered that the proposed development would be acceptable and would not conflict with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

No parking provision would be provided and this is addressed in the report above.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered GWE-077 001 A, GWE-077 002 B, GWE-077 003 A, GWE-077 004 A and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. The external finishing materials for the proposal hereby approved shall match those of the existing building.

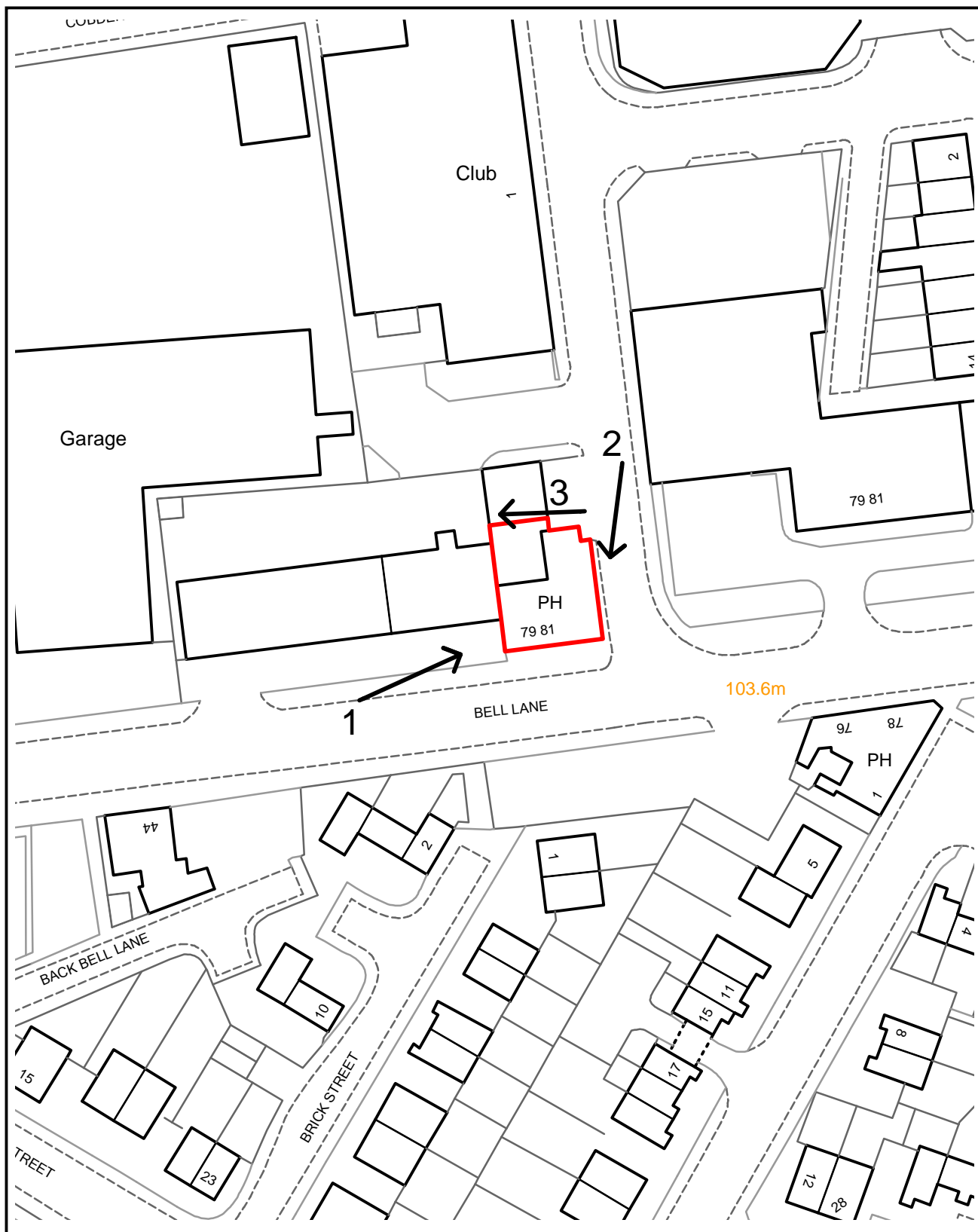
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

4. No development shall commence unless and until full details of the proposed bin store shown indicatively on approved plan reference GWE-077 022 Revision B have been submitted to and approved in writing by the Local Planning Authority. The details subsequently approved shall be implemented prior to the use hereby approved commencing and thereafter maintained available for use.

Reason. No information has been provided and to ensure adequate bin storage arrangements are provided within the curtilage of the site and clear of the adjacent adopted highway pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 61677

**ADDRESS: Church Inn
81 Bell Lane**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



Bury
COUNCIL

61677

Photo 1



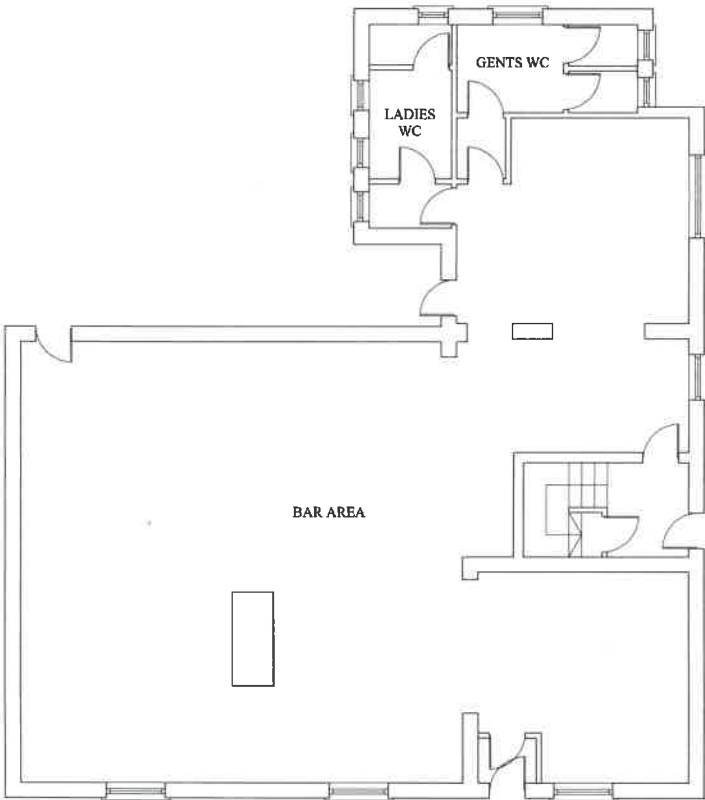
Photo 2



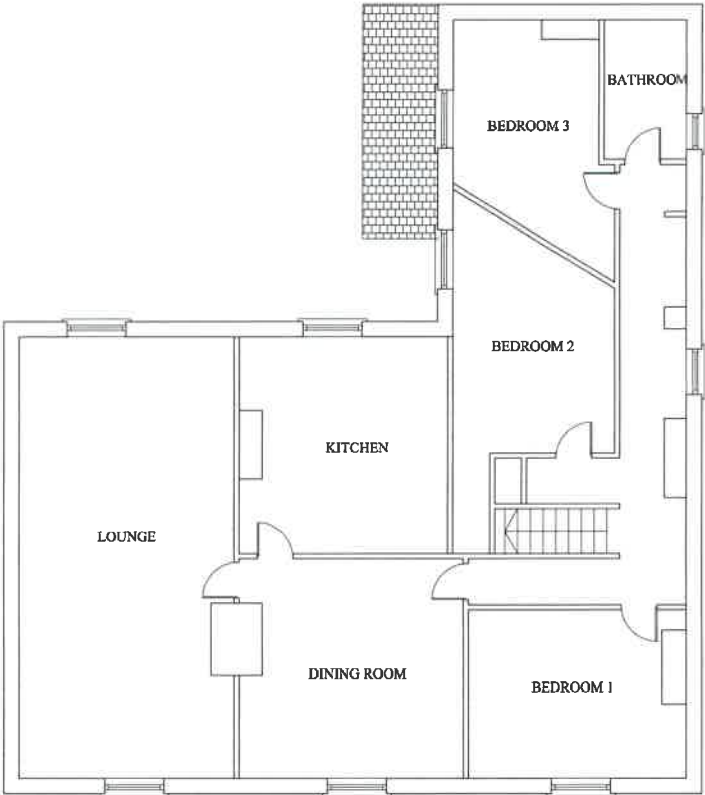
61677

Photo 3



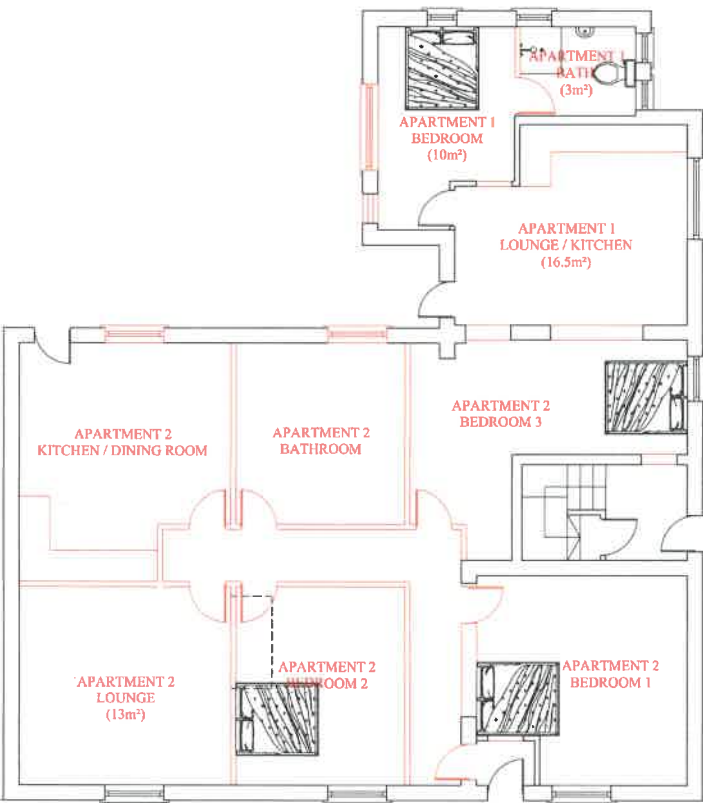


EXISTING GROUND FLOOR LAYOUT
(SCALE 1:50)

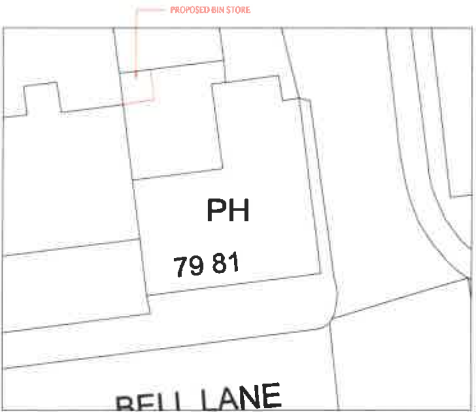


EXISTING FIRST FLOOR LAYOUT
(SCALE 1:50)

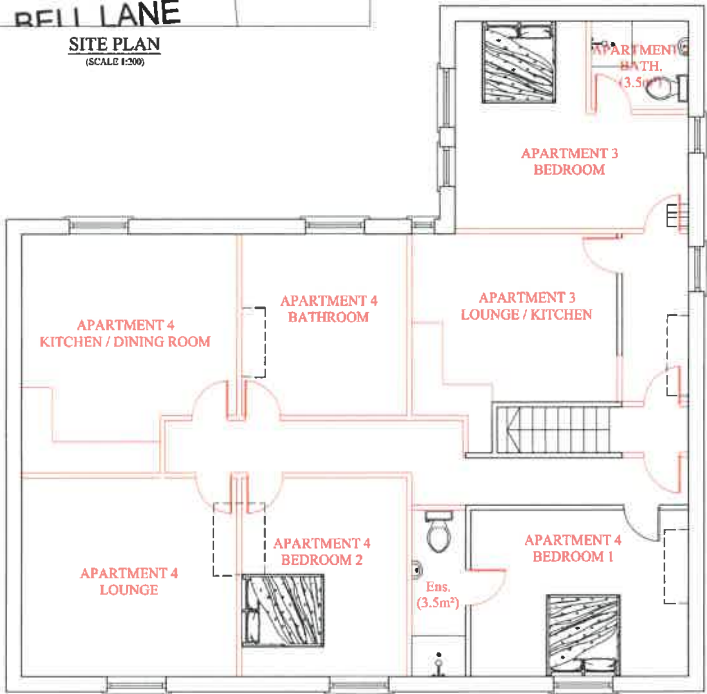
A		26.06.2017	ISSUED FOR PLANNING APPROVAL	
DRAWING STATUS				
PLANNING APPROVAL				
<div><div></div><div>GW EVANS CONSTRUCTION GROUP 1st FLOOR 40 CLOVELY ROAD SWINTON MANCHESTER, M27 5AF 0161 728 8743 07980226147 www.gw-evans.co.uk</div></div>				
PROJECT: CHURCH INN, BURY				
TITLE: EXISTING FLOOR PLANS				
SCALE: 1:50 1/50 @ A1		STATUS: PLANNING APP.		DATE: MARCH'17
PROJECT No: GWE-077		OR CLIENT No: 001		REV: A



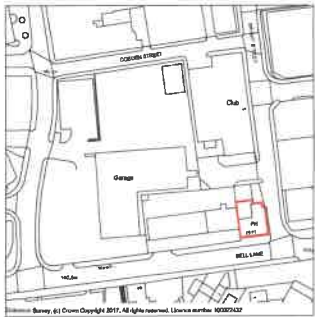
PROPOSED GROUND FLOOR LAYOUT
(SCALE 1:50)



SITE PLAN
(SCALE 1:500)



PROPOSED FIRST FLOOR LAYOUT
(SCALE 1:50)



LOCATION PLAN
(SCALE 1:1250)

B A	28.06.2017 26.06.2017	SITE PLAN ADDED ISSUED FOR PLANNING APPROVAL		
GWE-EVANS				
PLANNING APPROVAL				
 GWE EVANS CONSTRUCTION GROUP 1st FLOOR 85 CROFTLEY ROAD WIDNES MANCHESTER, M27 5AF 0161 728 8793 07980226147 www.gwe-evans.co.uk				
PROJECT:				
CHURCH INN, BURY				
TITLE:				
PROPOSED FLOOR PLANS				
SCALE 1:50 G.A.I		STATUS PLANNING APP.	DATE MARCH '17	
PROJECT GWE-077	REVISED 002	REV B		



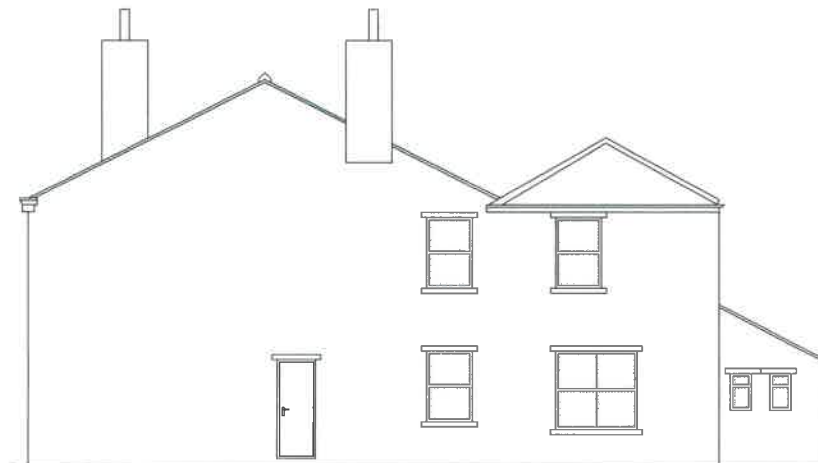
EXISTING FRONT ELEVATION
(SCALE 1:50)



EXISTING RIGHT SIDE ELEVATION
(SCALE 1:50)

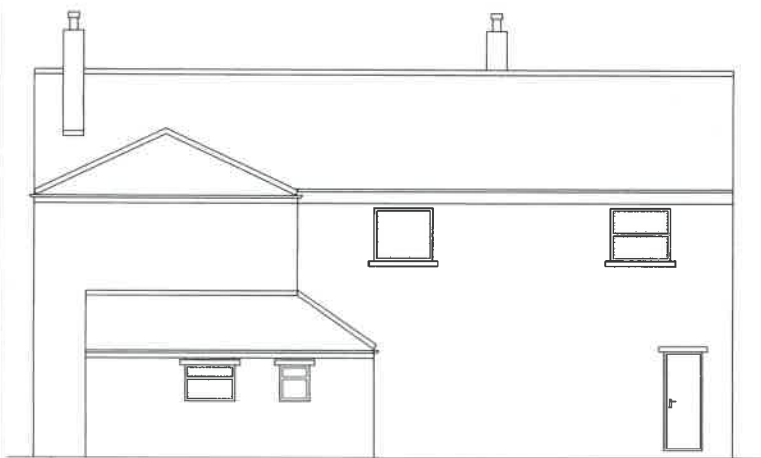


PROPOSED FRONT ELEVATION
(SCALE 1:50)



PROPOSED RIGHT SIDE ELEVATION
(SCALE 1:50)

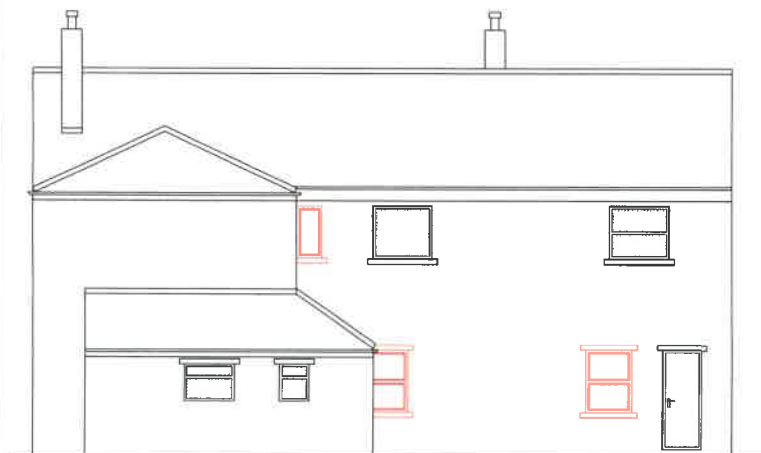
A	26.06.2017	ISSUED FOR PLANNING APPROVAL	
DRAWN BY: TSD			
PLANNING APPROVAL			
<div><div>GW EVANS CONSTRUCTION GROUP 1st FLOOR 46 CLORELY ROAD SWINTON MANCHESTER, M27 5AF 0161 728 4793 07980226147 www.gw-evans.co.uk</div></div>			
PROJECT: CHURCH INN, BURY			
TITLE: ELEVATIONS SHEET 1			
SCALE: 1:50 @ A1	STATUS: PLANNING APP.	DATE: MARCH 17	
PROPERTY: GWE-077	OR. REF. NO: 003	REV: A	



EXISTING REAR ELEVATION
(SCALE 1:50)



EXISTING LEFT SIDE ELEVATION
(SCALE 1:50)



PROPOSED REAR ELEVATION
(SCALE 1:50)



PROPOSED LEFT SIDE ELEVATION
(SCALE 1:50)

A	26.06.2017	ISSUED FOR PLANNING APPROVAL
DRAWING STATUS		
PLANNING APPROVAL		
		
GW EVANS CONSTRUCTION GROUP 1st FLOOR 40 CUDDELEY ROAD SWITTON MANCHESTER, M27 5AF 0161 728 6791 075862234157 www.gw-evans-constructiongroup.co.uk		
PROJECT:		
CHURCH INN, BURY		
TITLE:		
ELEVATIONS SHEET 2		
SCALE: 1:50 @ A1	STATUS: PLANNING APP.	DATE: MARCH 17
PROJECT No: GWE-077	DEVELOPER: 004	REV: A